

4495 WALKER ROAD

4495 WALKER ROAD, KELOWNA, BC V1W 1G8
 LOT 6, DISTRICT LOT 167, PLAN KAP10989



ISSUED FOR BUILDING PERMIT

2024-09-13

ARCHITECTURAL

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DEVELOPMENT + BUILDING PERMIT

No.	Date	Revision
01	2024-09-13	ISSUED FOR DEVELOPMENT & BUILDING PERMIT

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Project Title
4495 WALKER ROAD

Drawing Title
**COVER SHEET &
 DRAWING LIST**

4495 WALKER ROAD, KELOWNA, BC V1W 1G8
 LOT 6, DISTRICT LOT 167, PLAN KAP10989

Drawing Number
A0.00

Job No. 18 - 1816
 Scale

DRAWING SYMBOL LEGEND:	
	ROOM NUMBER ROOM NAME
	DOOR NUMBER CORRESPONDS TO ROOM NUMBER
	BUILDING SECTION SYMBOL: SECTION NUMBER DRAWING WHERE SECTION APPEARS
	WALL SECTION SYMBOL: SECTION NUMBER DRAWING WHERE SECTION APPEARS
	DETAIL NUMBER: DRAWING WHERE DETAIL APPEARS
	WALL / ROOF / FLOOR CONSTRUCTION: REFER TO SCHEDULE
	WINDOW TYPE: REFER TO SCHEDULE
	GRIDLINES
	EXTERIOR ELEVATION KEY NOTES: REFER TO SCHEDULE
	FURNITURE: NOT IN CONTRACT (N.I.C.) REFER TO FURNITURE LEGEND (IF APPLICABLE)
	MILLWORK: REFER TO ID BUILT-IN MILLWORK OVERHEAD CABINET LOWER CABINET

FLOOR / CEILING PLAN ABBREVIATION & SYMBOL LEGEND:	
	FLOOR DRAIN: REFER TO MECH
	NON-FREEZE HOSE BIB: REFER TO MECH
	LIGHT FIXTURES & SWITCHES: REFER TO ELEC
	SMOKE DETECTORS: REFER TO ELEC
	RAIN WATER LEADER / SANITARY: REFER TO MECH.
	DOWN SPOUT: REFER TO SPEC.

TEXT ABBREVIATIONS LEGEND:	
V.O.S.	VERIFY ON SITE
C/W	COMPLETE WITH
T/O	TOP OF
U/S	UNDERSIDE OF
A.F.F.	ABOVE FINISHED FLOOR
U.N.O.	UNLESS NOTED OTHERWISE
P.F.	PRIVACY FILM
O.S.C.I.	OWNER SUPPLIED, CONTRACTOR INSTALLED
O.S.O.I.	OWNER SUPPLIED, OWNER INSTALLED
TBD	TO BE DETERMINED

FLOOR ASSEMBLY TYPES:	
	<p>CONCRETE SLAB ON GRADE:</p> <ul style="list-style-type: none"> -FLOOR FINISH - REFER TO FINISH PLANS -REINFORCED CONCRETE SLAB - REFER TO STRU -6 MIL VAPOUR BARRIER SEALED @ PERIMETER PER RADON CONTROL REQ'S - REFER TO MECH. -100mm COURSE GRANULAR RADON CONTROL MATERIAL - REFER TO GEOTECH -ROUGH GRADED BUILDING PAD - REFER TO CIVIL/ GEOTECH <p>ALL RADON CONTROL ELEMENTS TO CONFORM TO BCBC 9.16.2.1</p> <p>ADD 2" R12 RIGID INSULATION @ PERIMETER WHERE SLAB MEETS FOUNDATION WALL</p>
	<p>TYP. SUSPENDED WOOD FLOOR:</p> <ul style="list-style-type: none"> -FLOOR FINISH - REFER TO FINISHES PLAN -5/8" PLYWOOD SHEATHING - -11 7/8" FLOOR JOISTS - -1 LAYERS 1/2" GYPSUM WALLBOARD <p>NOTE: ABOVE GARAGE - ADD R44 BATT INSULATION @ TAPE JOINTS OF PLYWOOD FOR VAPOUR BARRIER SEAL</p>
	<p>WOOD FLOOR OVER UNCONDITIONED SPACE:</p> <ul style="list-style-type: none"> -FLOOR FINISH - REFER TO FINISHES PLAN -5/8" PLYWOOD SHEATHING - REFER TO STRU -11 7/8" FLOOR JOISTS - REFER TO STRU -6" POLYURETHANE SPRAY FOAM INSULATION BETWEEN JOISTS -1 LAYERS 1/2" GYPSUM WALLBOARD

FLOOR ASSEMBLY TYPES:	
	<p>WOOD DECK:</p> <ul style="list-style-type: none"> - DECK MEMBRANE - 5/8" PLYWOOD SHEATHING - 2x_ WOOD JOISTS (TAPERED TO SLOPE MIN 2% TO DRAIN) - 1/2" PREFIN. ALUM VENTED SOFFIT
	<p>WOOD DECK ABOVE CONDITIONED SPACE:</p> <ul style="list-style-type: none"> - DECK MEMBRANE - 5/8" PLYWOOD SHEATHING - 2x_ WOOD JOISTS (TAPERED TO SLOPE MIN 2% TO DRAIN) - 11 7/8" FLOOR JOISTS - 6" POLYURETHANE SPRAY FOAM INSULATION BETWEEN JOISTS - 1 LAYERS 1/2" GYPSUM WALLBOARD

ROOF ASSEMBLY TYPES:	
	<p>FLAT ROOF:</p> <ul style="list-style-type: none"> -ROOF MEMBRANE -5/8" EXTERIOR GRADE T&G PLYWOOD SHEATHING - REFER TO STRU -PRE-ENGINEERED TRUSSES -MIN. 6" AIRSPACE FOR VENTING -R-44 FIBREGLASS INSULATION -6 MIL POLY VAPOUR BARRIER -1 LAYERS 1/2" GYPSUM WALLBOARD <p>NOTE: AT UPPER ROOF DECK - ADD PAVER ON PEDESTAL SYSTEM</p>
	<p>FLAT ROOF @ COVERED DECK:</p> <ul style="list-style-type: none"> -ROOF MEMBRANE -5/8" EXTERIOR GRADE T&G PLYWOOD SHEATHING - REFER TO STRU -PRE-ENGINEERED TRUSSES -PREFINISHED ALUMINUM VENTED SOFFIT

EXTERIOR WALL ASSEMBLY TYPES:	
	<p>CONCRETE FOUNDATION WALL:</p> <ul style="list-style-type: none"> -DAMP PROOFING (APPLIED TO EXTERIOR) -8" C.I.P. CONCRETE FOUNDATION WALL
	<p>EXTERIOR WALL:</p> <ul style="list-style-type: none"> -REFER TO ELEVATIONS FOR CLADDING TYPE -VAPOUR PERMEABLE AIR BARRIER -1/2" EXTERIOR GRADE PLYWOOD SHEATHING -2x6 WOOD STUDS AT 16" O.C. (SEE STRU.) -R-22 GLASS FIBRE BATT INSULATION (MATCH STUD SIZE) -6 MIL POLY VAPOUR BARRIER -1 LAYER 1/2" GYPSUM WALLBOARD
	<p>1 HR RATED EXTERIOR WALL:</p> <ul style="list-style-type: none"> -REFER TO ELEVATIONS FOR CLADDING TYPE -VAPOUR PERMEABLE AIR BARRIER -1/2" EXTERIOR GRADE PLYWOOD SHEATHING -2x6 WOOD STUDS AT 16" O.C. (SEE STRU.) -R-22 GLASS FIBRE BATT INSULATION (MATCH STUD SIZE) -6 MIL POLY VAPOUR BARRIER -1 LAYER 5/8" TYPE X GYPSUM WALLBOARD
	<p>EXTERIOR FURRING WALL:</p> <ul style="list-style-type: none"> -REFER TO ELEVATIONS FOR CLADDING TYPE -VAPOUR PERMEABLE AIR BARRIER -1/2" EXTERIOR GRADE PLYWOOD SHEATHING -2x_ WOOD STUDS

INTERIOR WALL ASSEMBLY TYPES:	
	<p>1 HR RATED PARTY WALL:</p> <ul style="list-style-type: none"> - 2 LAYERS 5/8" TYPE X GYPSUM WALL BOARD - 2x4 WOOD STUDS @ 16" O.C. - ACOUSTIC BATT INSULATION TO MATCH STUD SIZE - MIN 1" AIR SPACE - ACOUSTIC BATT INSULATION TO MATCH STUD SIZE - 2x4 WOOD STUDS @ 16" O.C. - 2 LAYERS 5/8" TYPE X GYPSUM WALL BOARD <p>WALL TYPE: W14a (BCBC 2018) STC RATING: 61 FRR PROVIDED: 1 HR</p>

INTERIOR WALL ASSEMBLY TYPES:	
	<p>1 HR RATED EXTERIOR PARTY WALL:</p> <ul style="list-style-type: none"> - CEMENT FIBRE LAP SIDING - AIR BARRIER - 2 LAYERS 5/8" TYPE X EXTERIOR GRADE GYPSUM WALL BOARD - 2x4 WOOD STUDS @ 16" O.C. - ACOUSTIC BATT INSULATION TO MATCH STUD SIZE - MIN 1" AIR SPACE - ACOUSTIC BATT INSULATION TO MATCH STUD SIZE - 2x4 WOOD STUDS @ 16" O.C. - 2 LAYERS 5/8" TYPE X EXTERIOR GRADE GYPSUM WALL BOARD - AIR BARRIER - CEMENT FIBRE LAP SIDING <p>WALL TYPE: W14a (BCBC 2018) STC RATING: 61 FRR PROVIDED: 1 HR</p>
	<p>4" PARTITION WALL:</p> <ul style="list-style-type: none"> - 1 LAYER 1/2" GYPSUM WALL BOARD - 2x4 STUDS @ 16" O.C. - 1 LAYER 1/2" GYPSUM WALL BOARD
	<p>6" PARTITION WALL:</p> <ul style="list-style-type: none"> - 1 LAYER 1/2" GYPSUM WALL BOARD - 2x6 STUDS @ 16" O.C. - 1 LAYER 1/2" GYPSUM WALL BOARD
	<p>6" INSULATED PARTITION WALL:</p> <ul style="list-style-type: none"> - 1 LAYER 1/2" GYPSUM WALL BOARD - 2x6 STUDS @ 16" O.C. - FIBERGLASS BATT INSULATION TO FILL STUD CAVITY - 1 LAYER 1/2" GYPSUM WALL BOARD
	<p>4" FURRING WALL:</p> <ul style="list-style-type: none"> - 1 LAYER 1/2" GYPSUM WALL BOARD - 2x4 STUDS @ 16" O.C.
	<p>6" FURRING WALL:</p> <ul style="list-style-type: none"> - 1 LAYER 1/2" GYPSUM WALL BOARD - 2x6 STUDS @ 16" O.C.



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Project Title
4495 WALKER ROAD

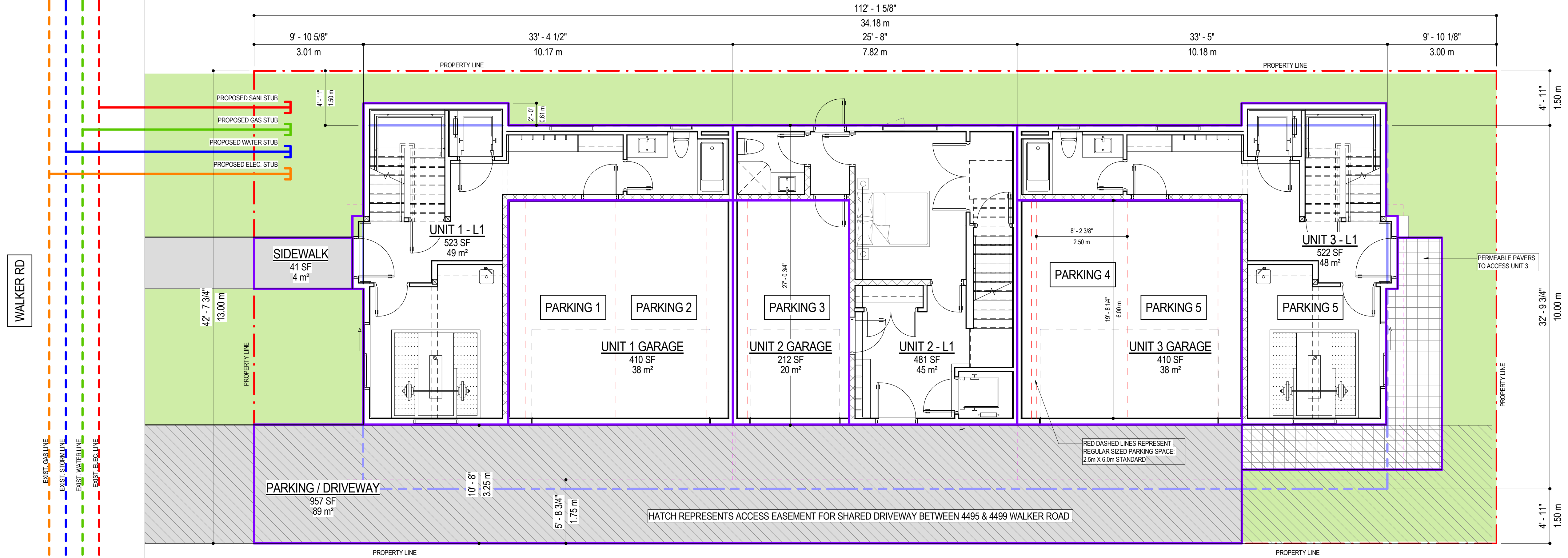
Drawing Title
ASSEMBLIES

4495 WALKER ROAD, KELOWNA, BC V1W 1G8
LOT 6, DISTRICT LOT 167, PLAN KAP10989

Drawing Number

A1.11

Job No. 18 - 1816
Scale As indicated



1 LEVEL 1 - SITE PLAN
A2.01 3/16" = 1'-0"

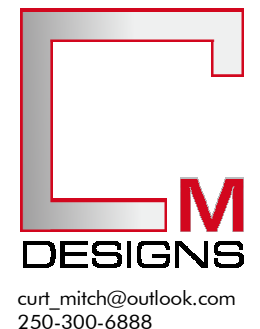
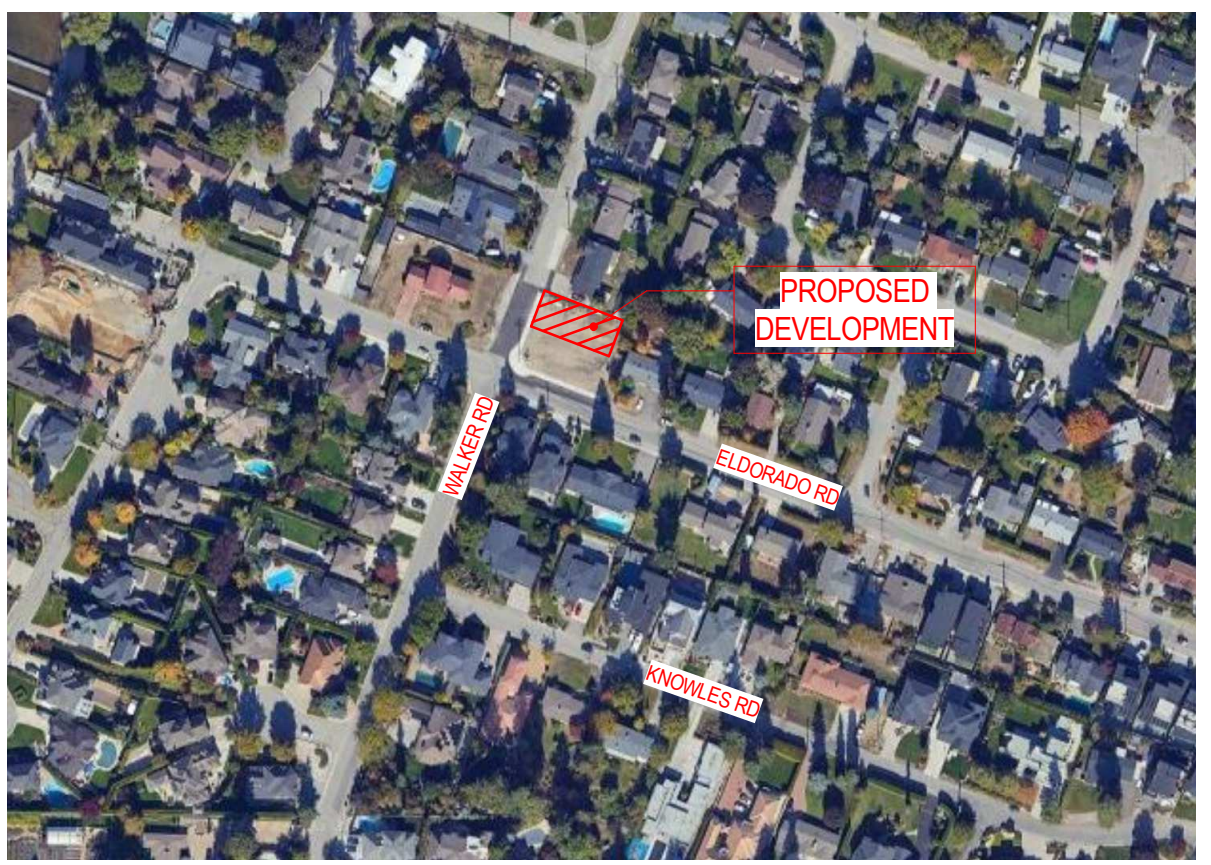
ZONING SUMMARY		4495 WALKER RD	
ADDRESS	4495 WALKER RD, KELOWNA, BC V1W 1G8		
LEGAL DESCRIPTION	LOT 6, DISTRICT LOT 167, PLAN KAP10989		
DEVELOPMENT PERMIT AREA	N/A		
EXISTING ZONING	RU2		
PROPOSED ZONING	RU2 (NO CHANGE)		
EXISTING LEGAL USE	SINGLE FAMILY HOME		
PROPOSED LEGAL USE	THREEPLEX		
ZONING REQUIREMENTS		MAIN BUILDING	
	ZONING STANDARD	PROPOSED	
FRONT SETBACK	3.0m	3.0m	
SIDE SETBACK	1.5m	1.5m	
REAR SETBACK	3.0m	3.0m	
PARCEL SIZE	-	444.3sm (4,783 SF)	
BUILDING HEIGHT	11.0m or 3 storeys	10.09m	
LEVEL 1 PARCEL COVERAGE AREA	244.4sm (55%)	237.6sm (53.48%)	
TOTAL PARCEL COVERAGE %	55%	53.48%	
TOTAL PARKING COVERAGE %	-	92.7sm (20.86%)	
TOTAL COMBINED COVERAGE %	75%	74.34%	
ZONING REQUIREMENTS		PARKING REQUIREMENTS	
	ZONING STANDARD	PROPOSED	
PARKING SPACES PROVIDED	4 SPACES	5 SPACES	
PARKING SIZE	2.5m x 6.0m	2.5m x 6.0m	

PARCEL SIZE		
Name	Area	Area (SM)
PARCEL SIZE	4,783 SF	444.3 m ²
	4,783 SF	444.3 m ²

PARKING AREA		
Name	Area	Area (SM)
SIDEWALK	41 SF	3.8 m ²
PARKING / DRIVEWAY	957 SF	88.9 m ²
	998 SF	92.7 m ²

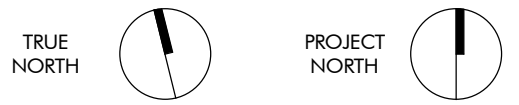
PARCEL COVERAGE		
Name	Area	Area (SM)
UNIT 1 - L1	523 SF	48.6 m ²
UNIT 1 GARAGE	410 SF	38.1 m ²
UNIT 2 - L1	481 SF	44.7 m ²
UNIT 2 GARAGE	212 SF	19.7 m ²
UNIT 3 - L1	522 SF	48.5 m ²
UNIT 3 GARAGE	410 SF	38.1 m ²
	2,558 SF	237.6 m ²

TOTAL BUILDING AREA		
Name	Area	Area (SM)
UNIT 1 - L1	523 SF	48.6 m ²
UNIT 1 - L2	1,010 SF	93.8 m ²
UNIT 1 - L3	706 SF	65.6 m ²
UNIT 1 GARAGE	410 SF	38.1 m ²
UNIT 2 - L1	481 SF	44.7 m ²
UNIT 2 - L2	742 SF	69.0 m ²
UNIT 2 - L3	522 SF	48.5 m ²
UNIT 2 GARAGE	212 SF	19.7 m ²
UNIT 3 - L1	522 SF	48.5 m ²
UNIT 3 - L2	1,008 SF	93.7 m ²
UNIT 3 - L3	711 SF	66.1 m ²
UNIT 3 GARAGE	410 SF	38.1 m ²
	7,258 SF	674.3 m ²



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Drawing Title
SITE PLAN & ZONING

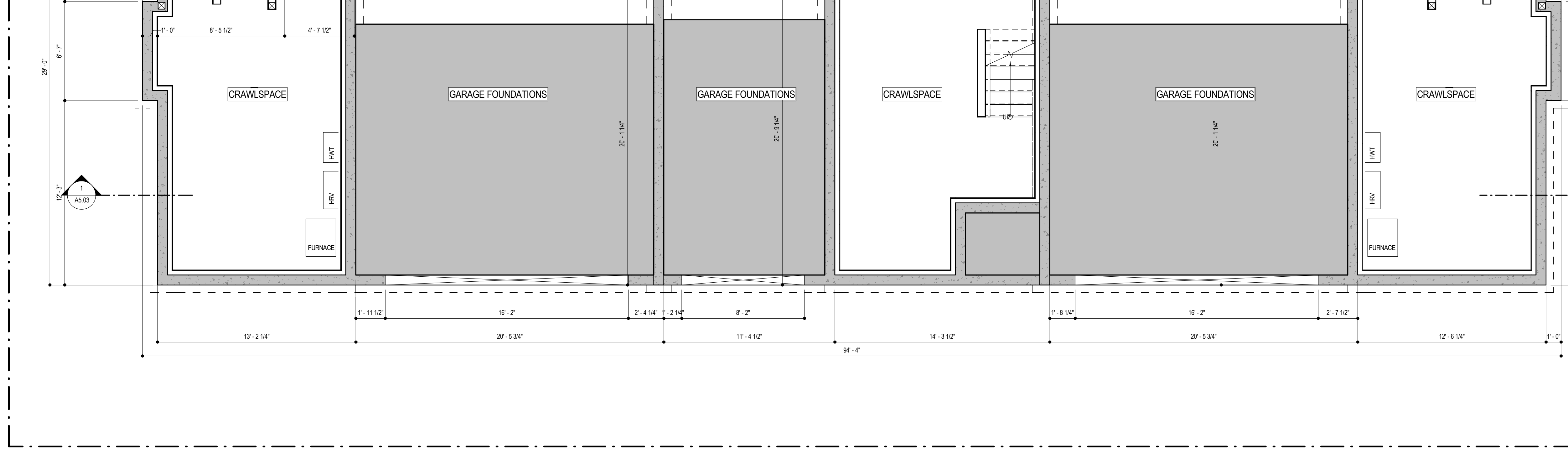
Drawing Number
A2.01

4495 WALKER ROAD, KELOWNA, BC V1W 1G8
LOT 6, DISTRICT LOT 167, PLAN KAP10989

Job No. 18 - 1816
Scale As indicated

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1 T/O FOOTING
 1/4" = 1'-0"



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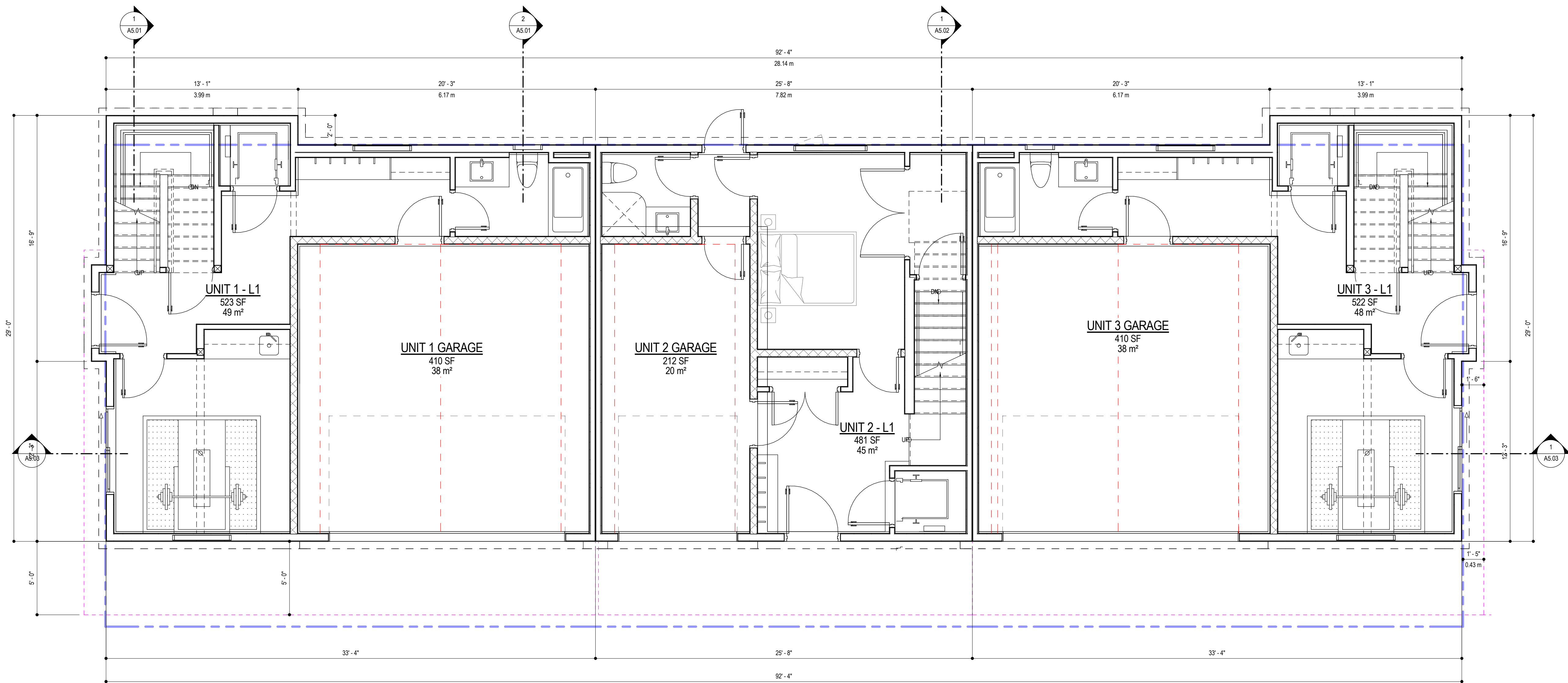
Drawing Title
 FOUNDATION PLAN

4495 WALKER ROAD, KELOWNA, BC V1W 1G8
 LOT 6, DISTRICT LOT 167, PLAN KAP10989

Drawing Number
 A3.01

Job No. 18 - 1816
 Scale 1/4" = 1'-0"

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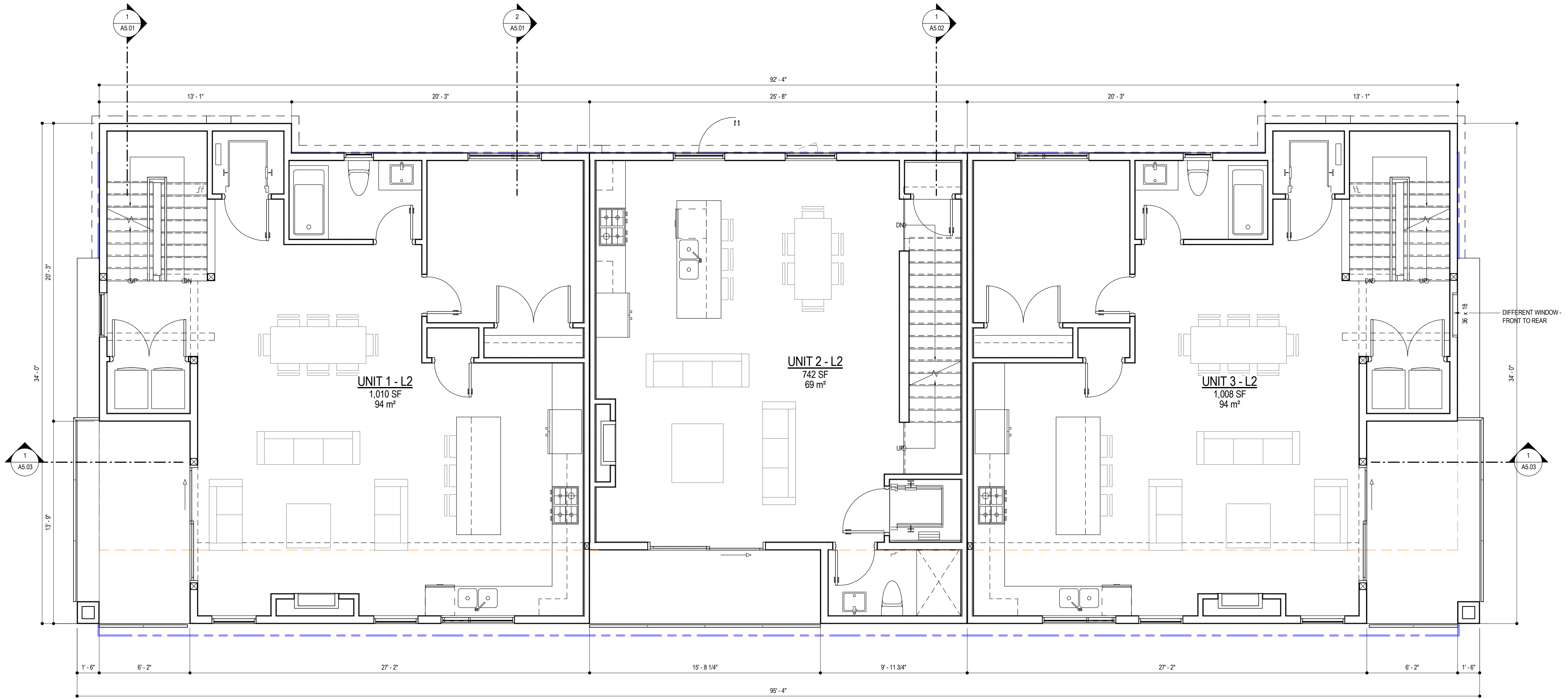
Drawing Title
LEVEL 1

4495 WALKER ROAD, KELOWNA, BC V1W 1G8
LOT 6, DISTRICT LOT 167, PLAN KAP10989

Drawing Number

A3.02

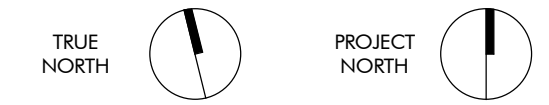
Job No. 18 - 1816
Scale 1/4" = 1'-0"



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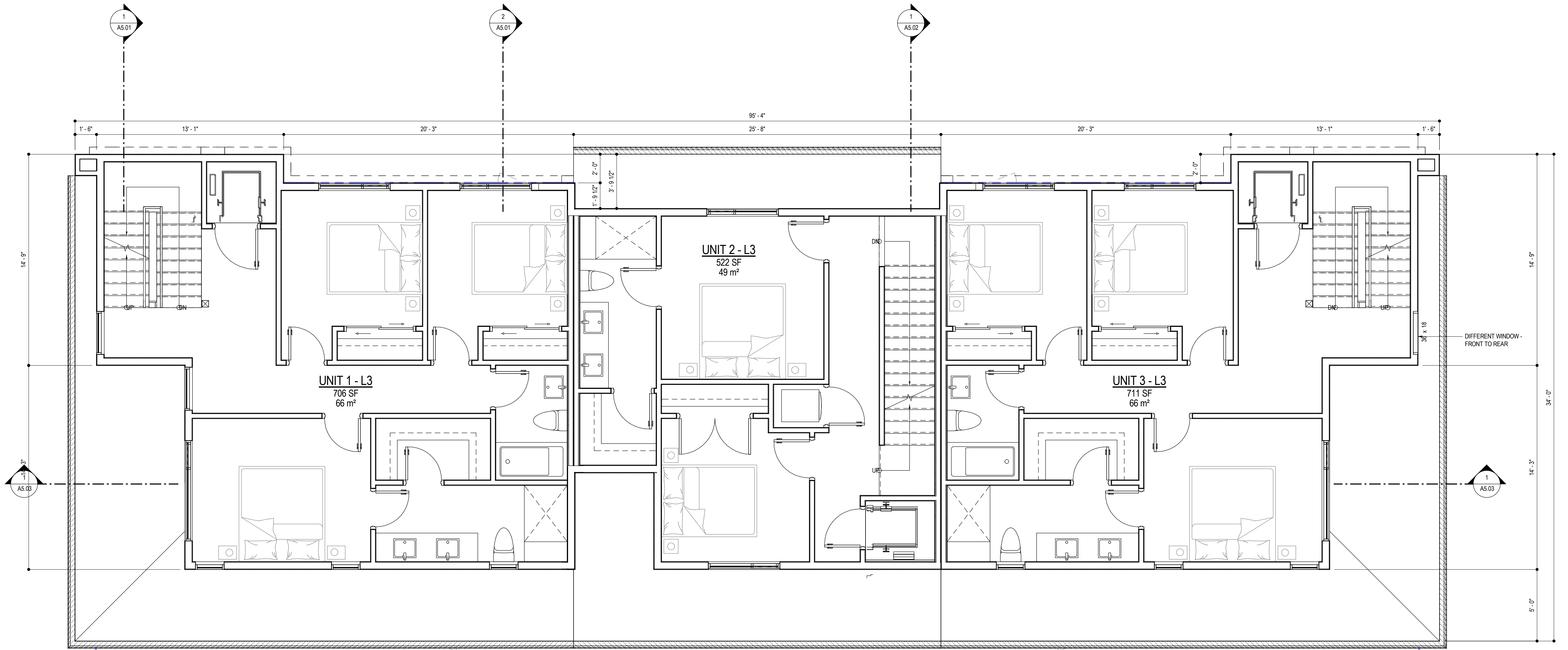
Drawing Title
LEVEL 2

4495 WALKER ROAD, KELOWNA, BC V1W 1G8
LOT 6, DISTRICT LOT 167, PLAN KAP10989

Drawing Number

A3.03

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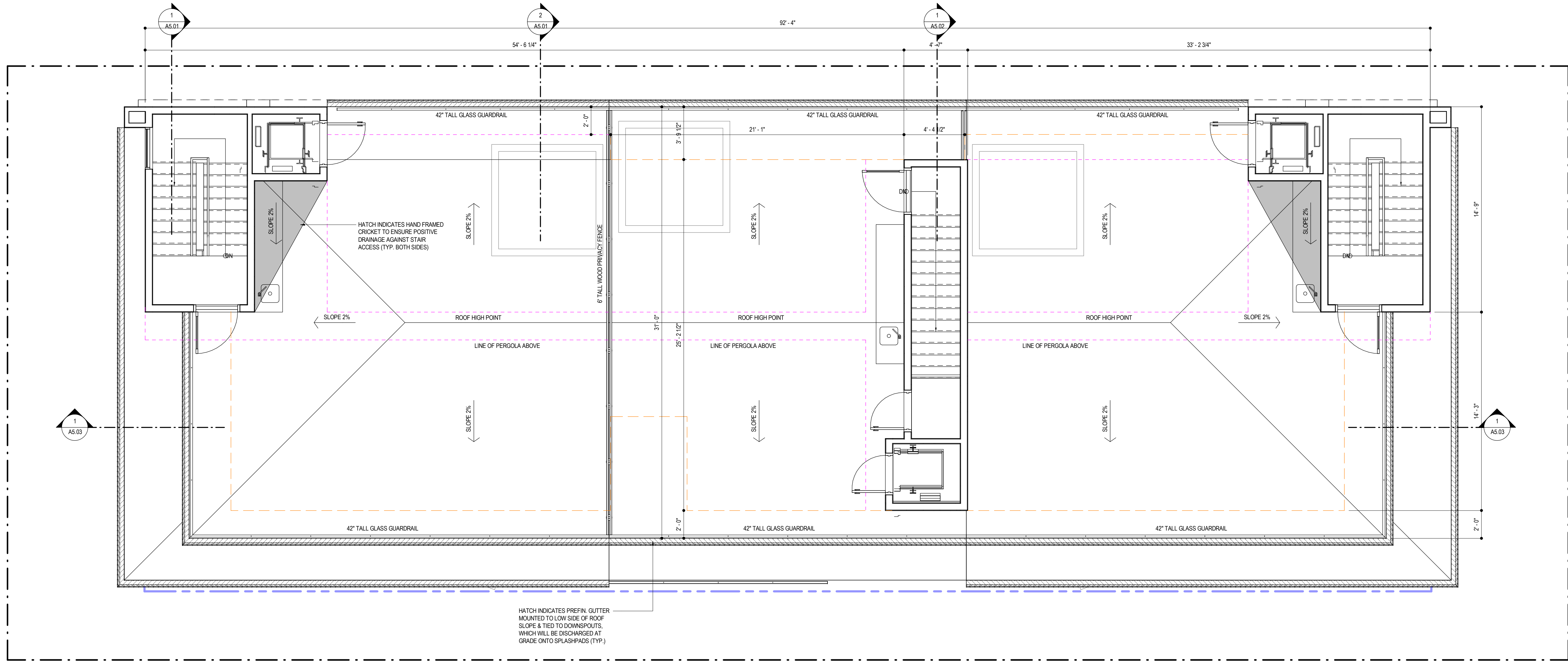
Drawing Title
LEVEL 3

4495 WALKER ROAD, KELOWNA, BC V1W 1G8
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A3.04

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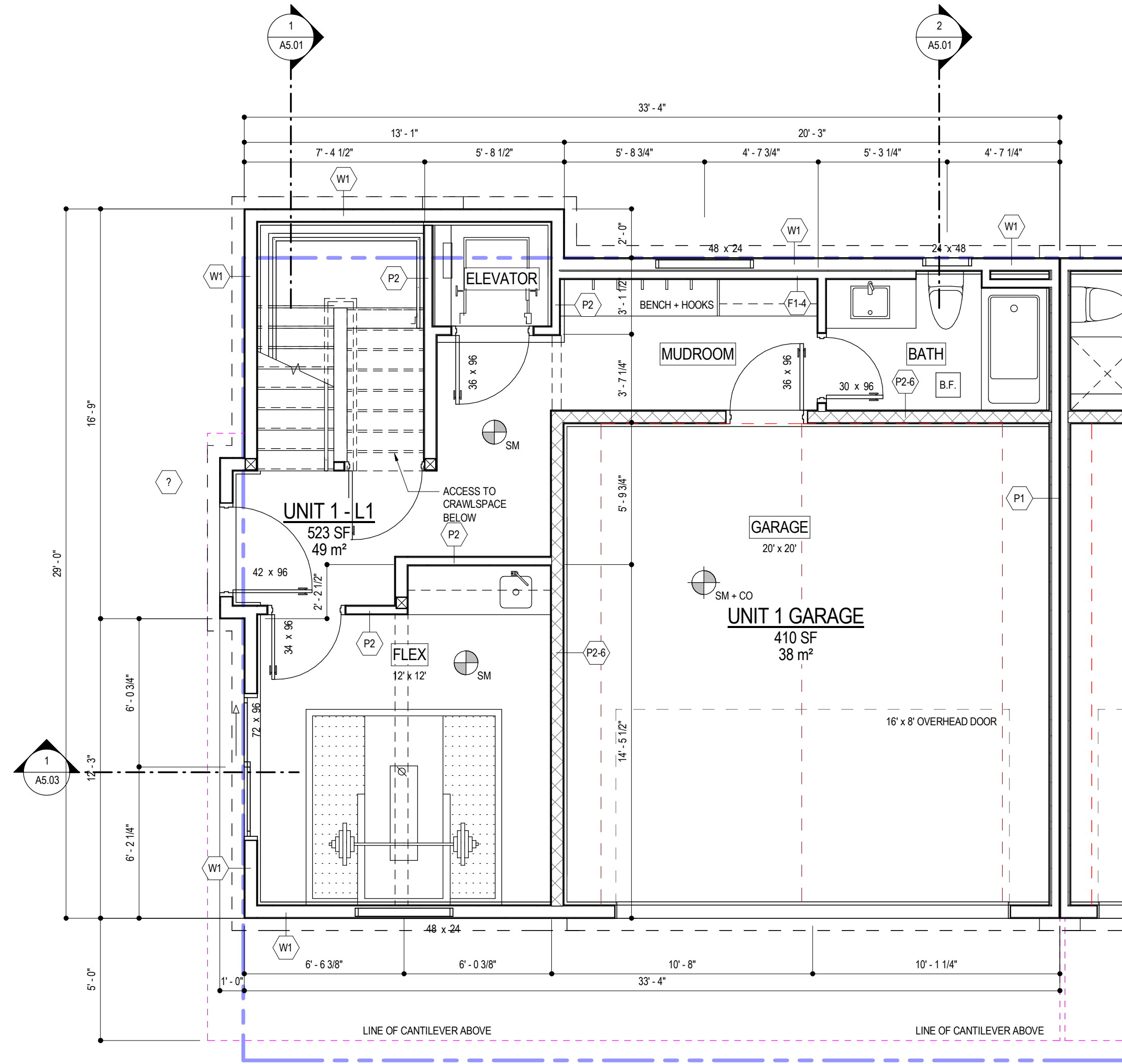
Drawing Title
ROOF PLAN

4495 WALKER ROAD, KELOWNA, BC V1W 1G8
 LOT 6, DISTRICT LOT 167, PLAN KAP10989

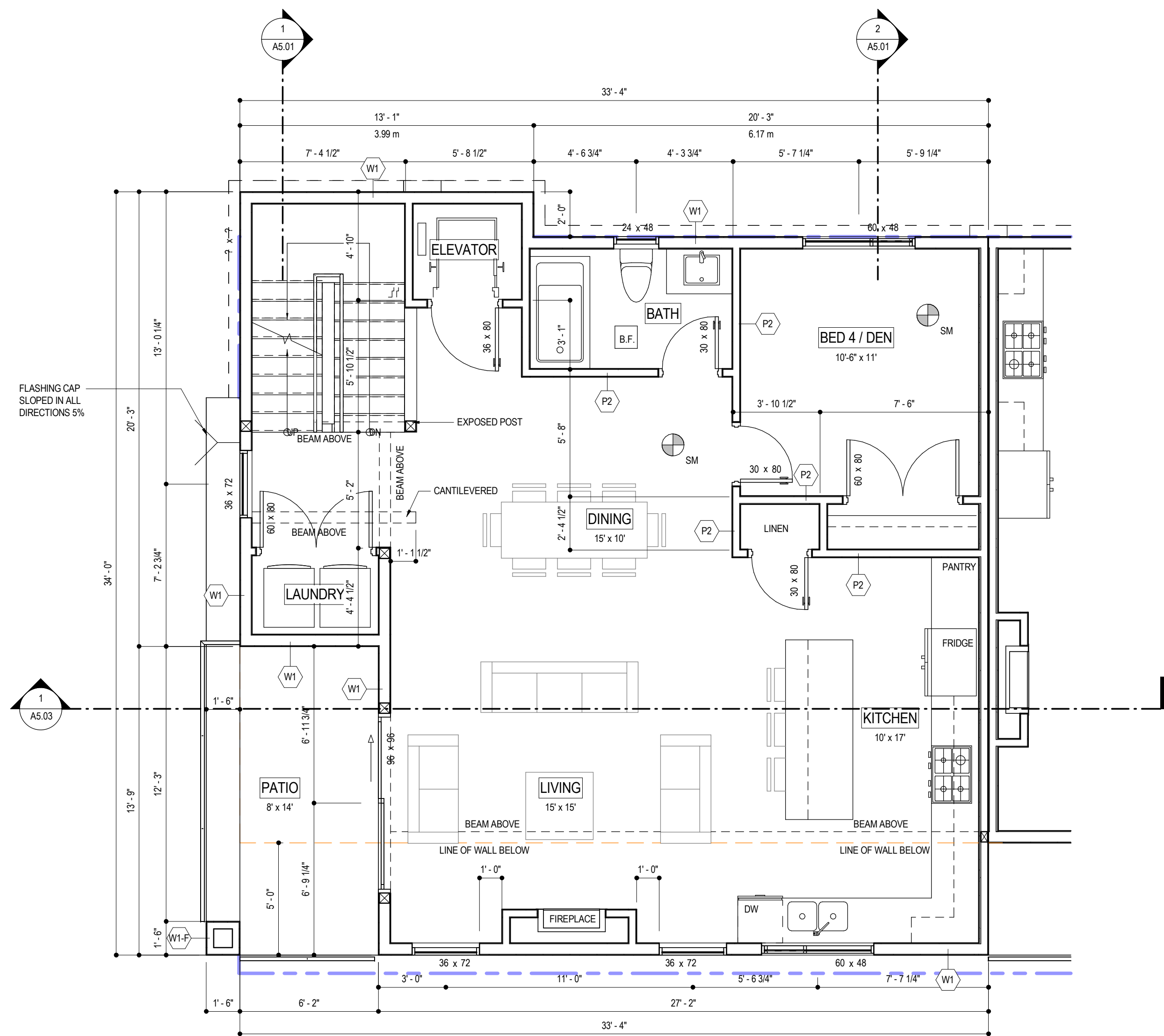
Drawing Number

A3.05

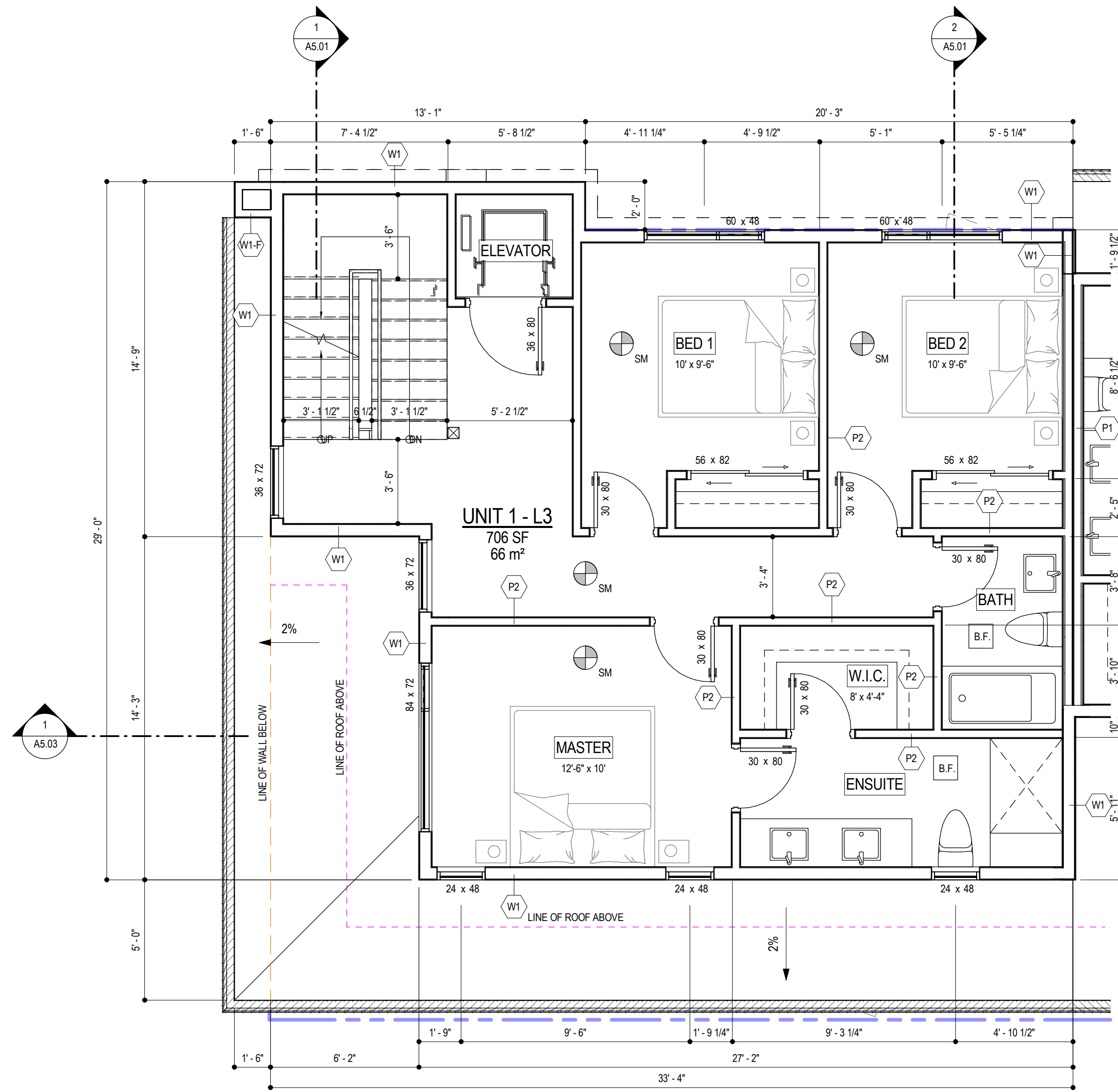
Job No. 18 - 1816
 Scale 1/4" = 1'-0"



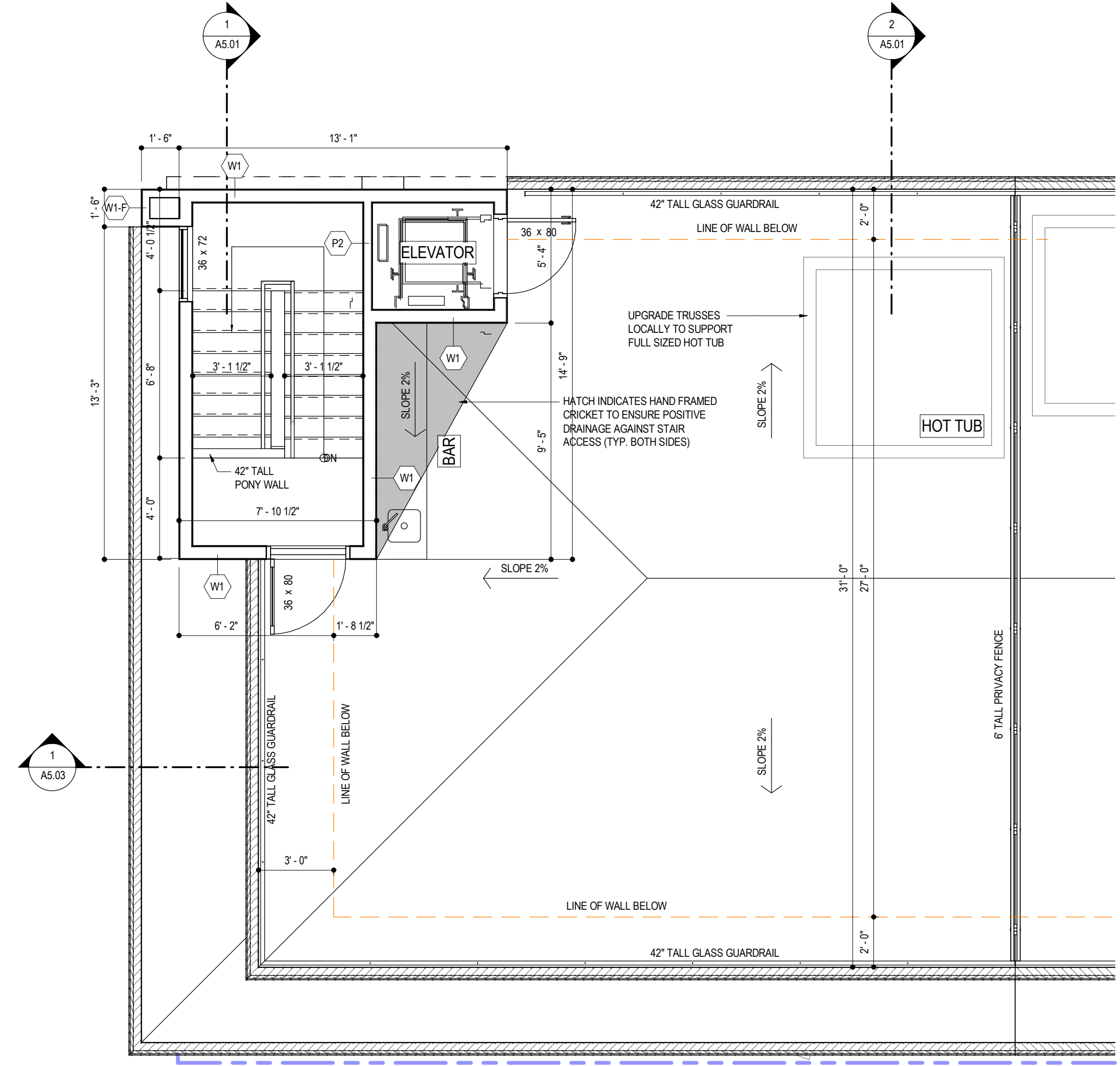
1
 A3.11
 END UNIT - L1
 1/4" = 1'-0"



2
 A3.11
 END UNIT - L2
 1/4" = 1'-0"



1
A3.12 END UNIT - L3
1/4" = 1'-0"



2
A3.12 END UNIT - ROOF
1/4" = 1'-0"



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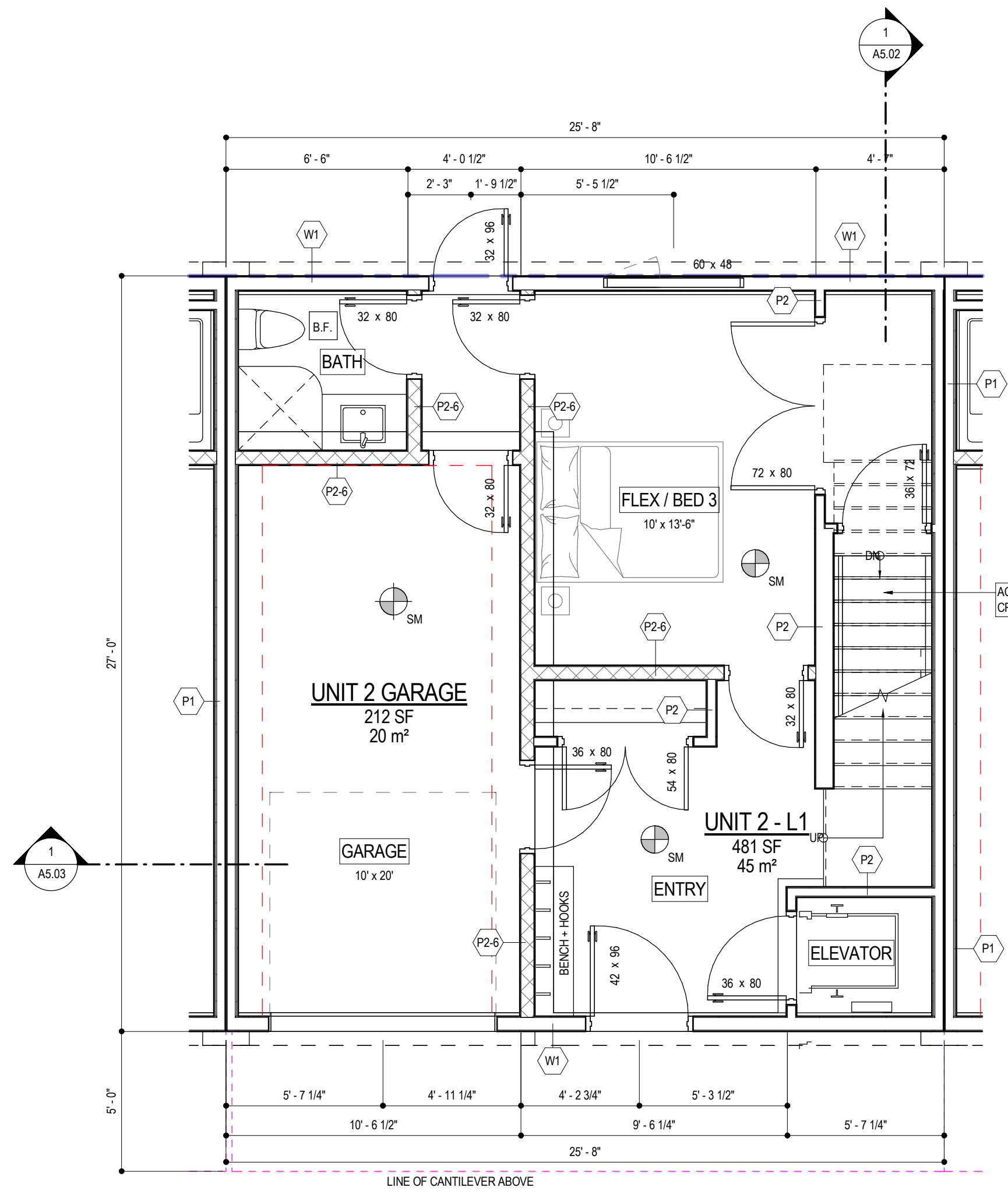


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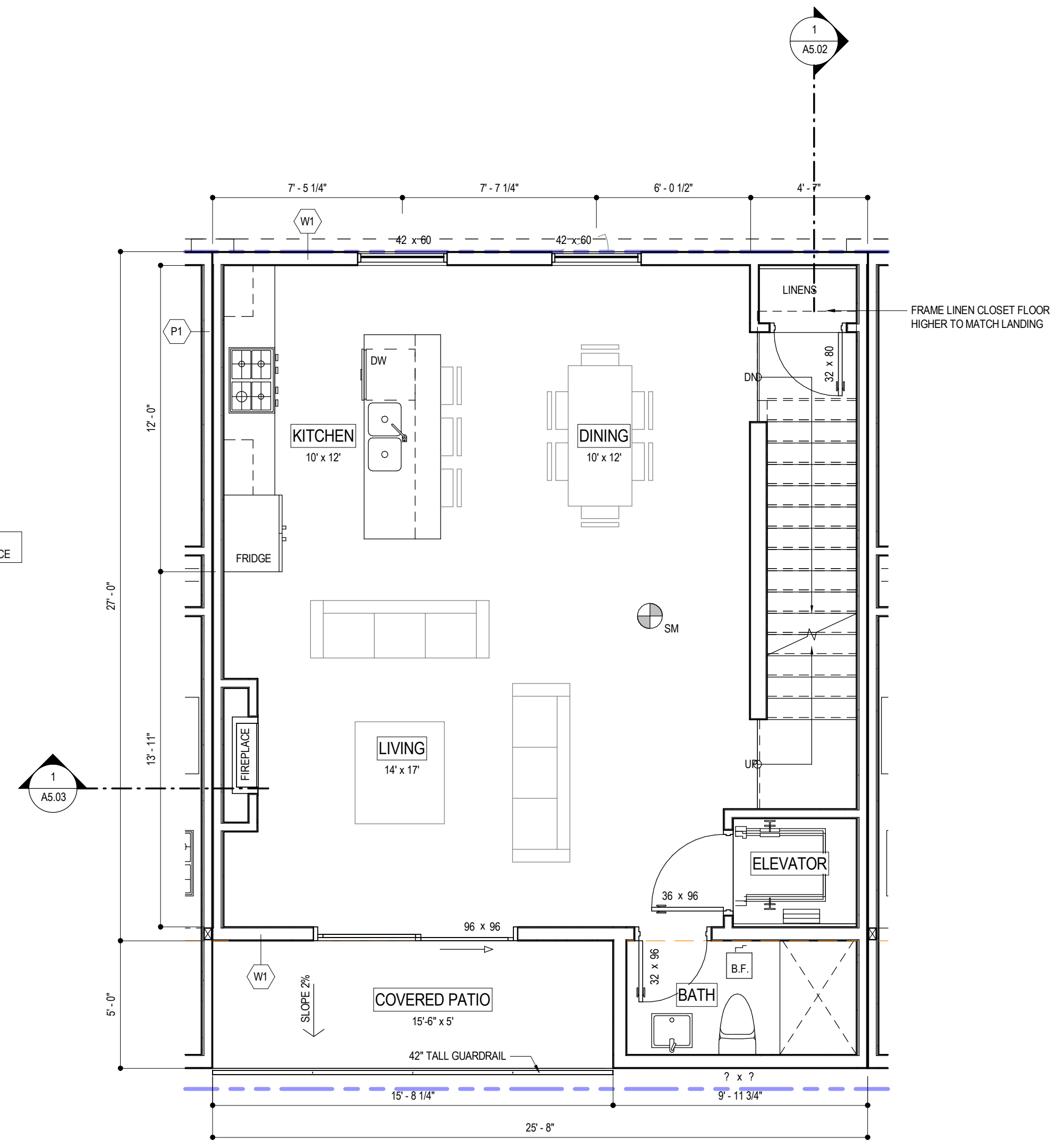
Drawing Title
END UNIT PLAN

4495 WALKER ROAD, KELOWNA, BC V1W 1G8
LOT 6, DISTRICT LOT 167, PLAN KAP10989

Drawing Number
A3.12
Job No. 18 - 1816
Scale 1/4" = 1'-0"



1 CENTER UNIT - L1
A3.13 1/4" = 1'-0"



2 CENTER UNIT - L2
A3.13 1/4" = 1'-0"



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TRUE NORTH

PROJECT NORTH

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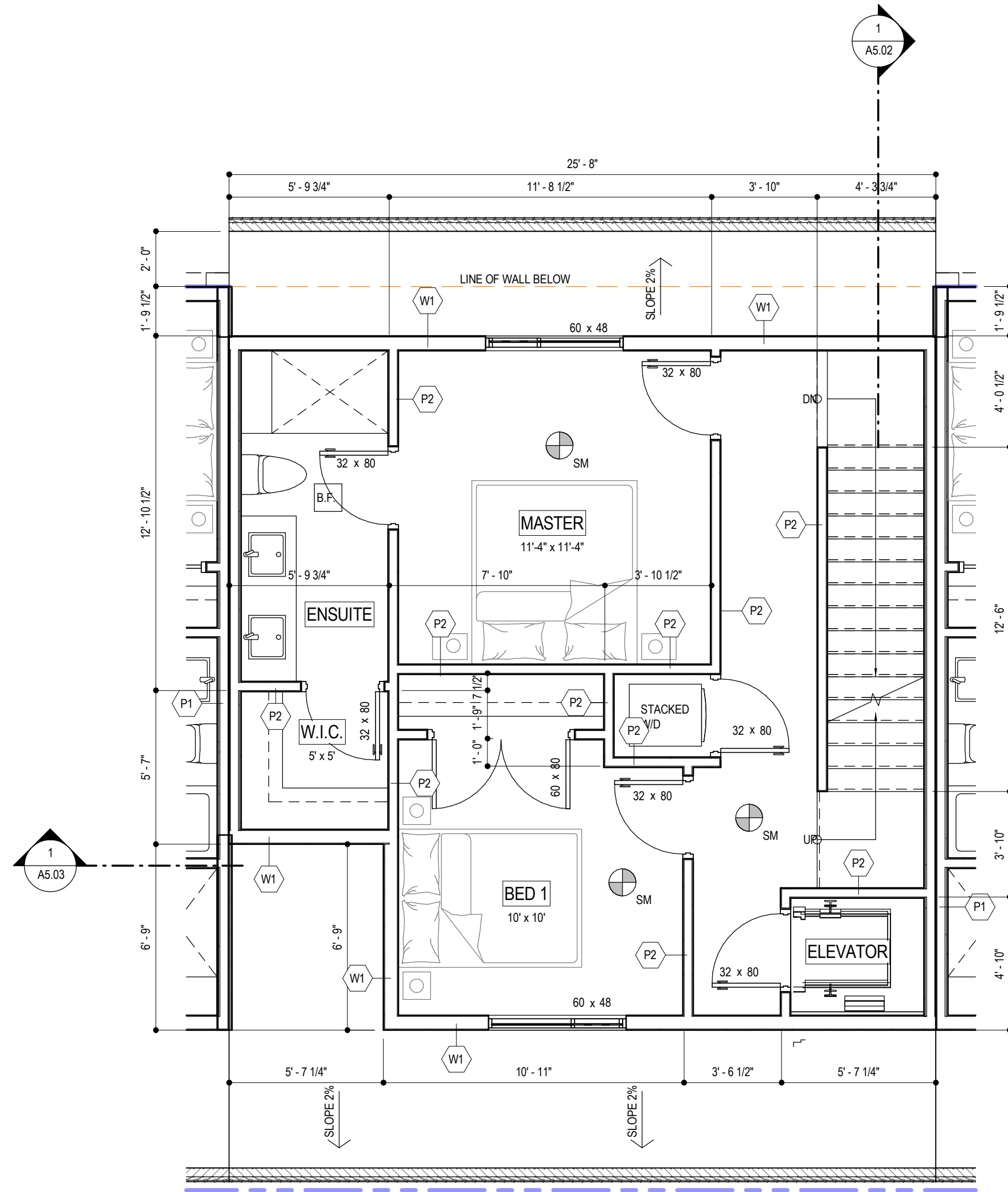
Drawing Title
CENTER UNIT PLAN

Drawing Number
A3.13

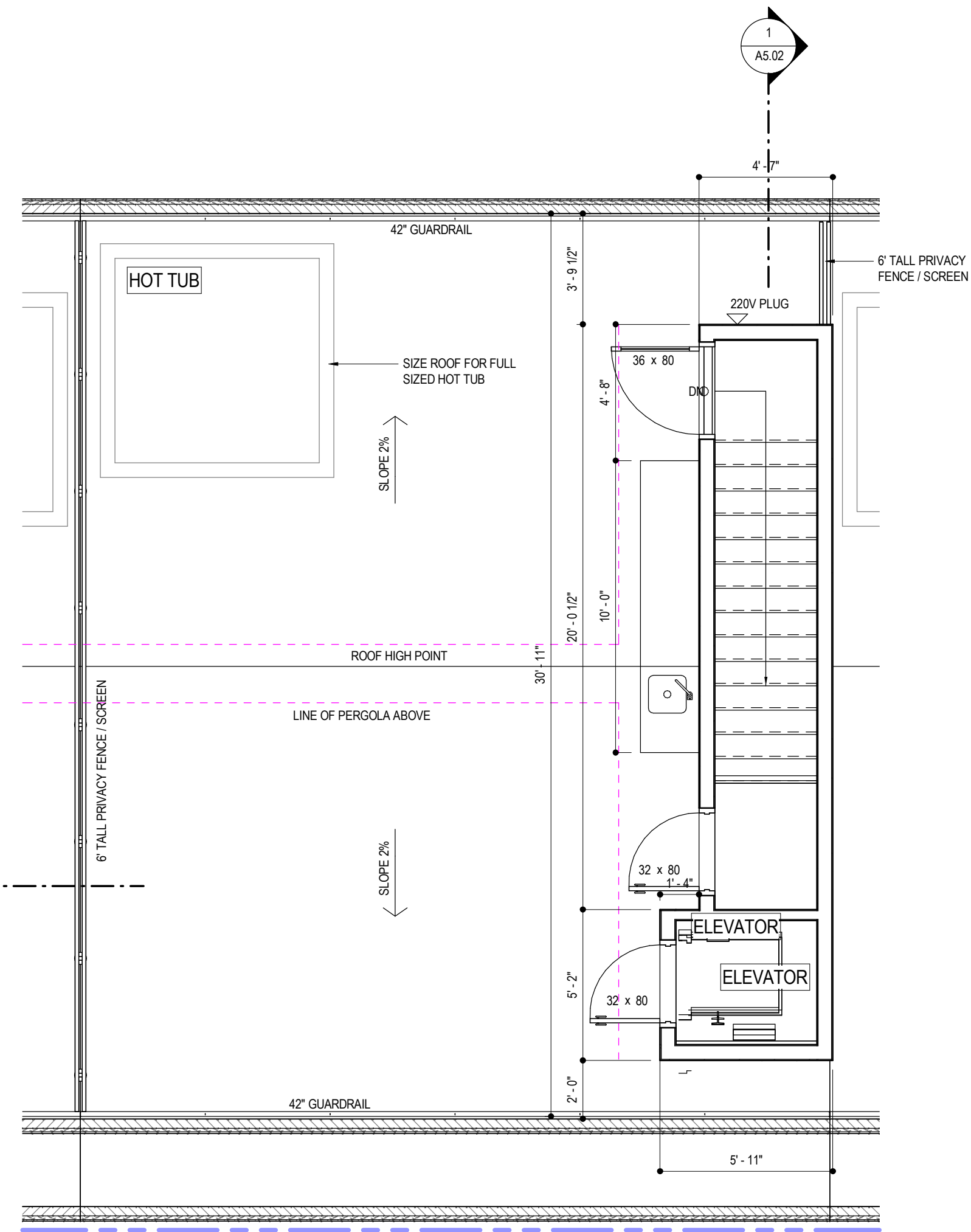
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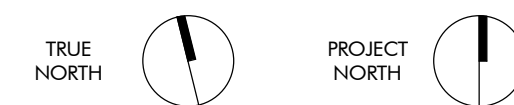


1 CENTER UNIT - L3
A3.14 1/4" = 1'-0"



2 CENTER UNIT - ROOF
A3.14 1/4" = 1'-0"

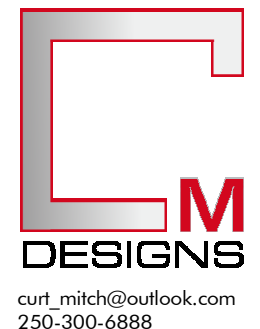
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BUILDING ELEVATION KEY NOTE:					
1	STUCCO - WHITE	6	VINYL WINDOW	11	ALUMINUM GUTTER OR DOWNSPOUT - PAINTED BLACK
2	BRICK VENEER - DARK GREY	7	MAN DOOR	12	SLIDING GLASS DOOR
3	HARDIE LAP SIDING - WHITE	8	OVERHEAD DOOR		
4	HARDIE BOARD AND BATTEN - BEIGE	9	BLACK STEEL FLASHING / TRIM		
5	6" TALL PRIVACY SCREEN	10	GLASS GUARD RAIL		

SPATIAL SEPARATION - REAR ELEVATION:	
EXPOSED BUILDING FACE:	109.14sm
LIMITING DISTANCE:	3.0m
PERMITTED UPO (AREA - 9.10.14.4. - A):	13.5%
PROPOSED UPO (AREA):	14.15sm
PROPOSED UPO (%):	12.96%

SPATIAL SEPARATION - FRONT ELEVATION:	
EXPOSED BUILDING FACE:	109.14sm
LIMITING DISTANCE:	8.0m + (CENTER OF ROAD)
PERMITTED UPO (AREA - 9.10.14.4. - A):	28%
PROPOSED UPO (AREA):	21.0sm
PROPOSED UPO (%):	19.2%



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4495 WALKER ROAD

Drawing Title
FRONT AND REAR ELEVATIONS

Drawing Number
A4.01

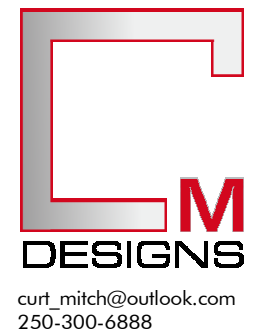
4495 WALKER ROAD, KELOWNA, BC V1W 1G8
LOT 6, DISTRICT LOT 167, PLAN KAP10989

Job No. 18 - 1816
Scale As indicated

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SPATIAL SEPARATION - FIRE COMPARTMENT 1 - LEFT ELEVATION:	
EXPOSED BUILDING FACE:	78.67sm
LIMITING DISTANCE:	1.5m
PERMITTED UPO (AREA - 9.10.14.4. - A):	8%
PROPOSED UPO (AREA):	6.1sm
PROPOSED UPO (%):	7.8%

SPATIAL SEPARATION - FIRE COMPARTMENT 1 & 3 - LEFT ELEVATION:	
EXPOSED BUILDING FACE:	120.4sm
LIMITING DISTANCE:	1.5m
PERMITTED UPO (AREA - 9.10.14.4. - A):	8%
PROPOSED UPO (AREA):	8.64sm
PROPOSED UPO (%):	7.18%



curt_mitch@outlook.com
250-300-6888

DEVELOPMENT + BUILDING PERMIT

No.	Date	Revision
01	2024-09-13	ISSUED FOR DEVELOPMENT & BUILDING PERMIT

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Project Title
4495 WALKER ROAD

Drawing Title
LEFT ELEVATION

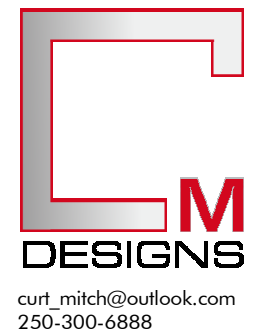
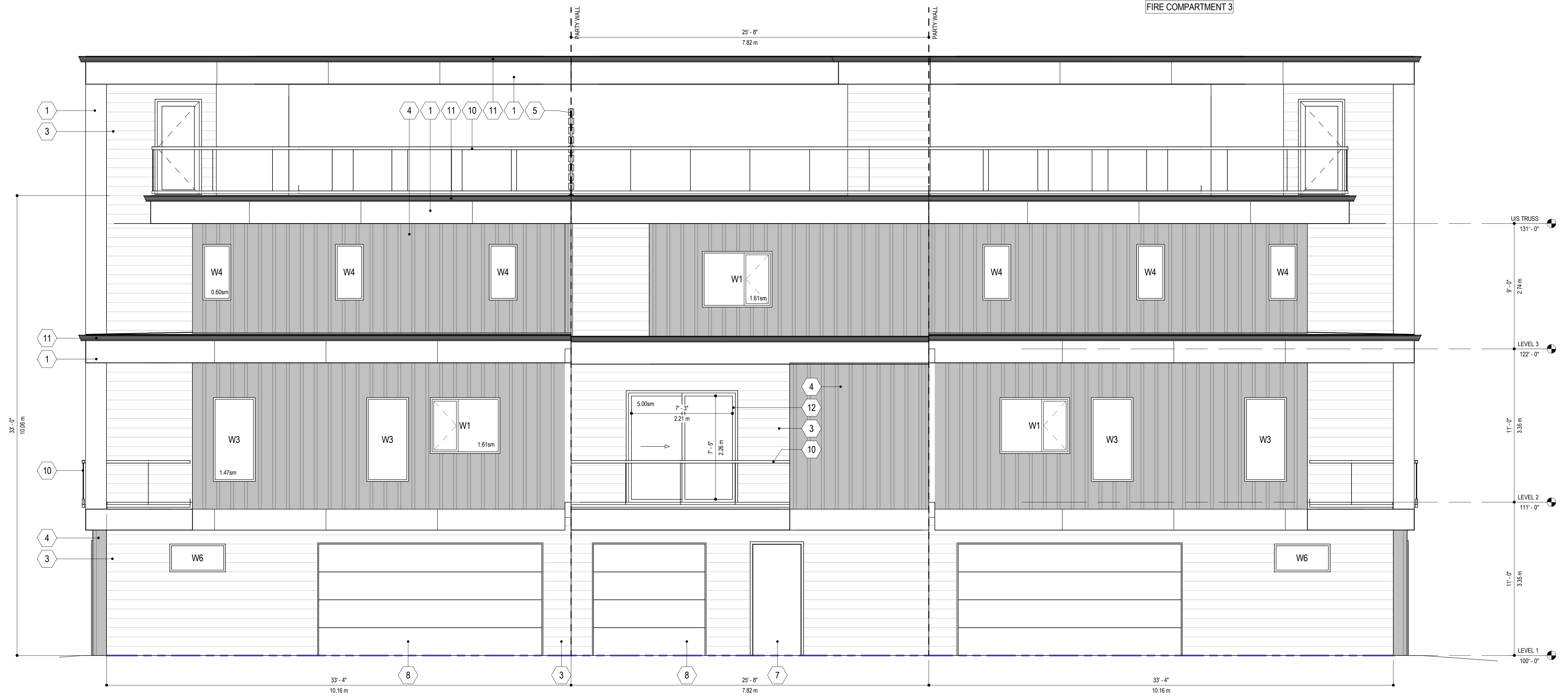
Drawing Number
A4.02

4495 WALKER ROAD, KELOWNA, BC V1W 1G8
LOT 6, DISTRICT LOT 167, PLAN KAP10989

Job No. 18 - 1816
Scale 1/4" = 1'-0"

SPATIAL SEPARATION - FIRE COMPARTMENT 1 & 3 - RIGHT ELEVATION:	
EXPOSED BUILDING FACE:	102.2sm
LIMITING DISTANCE:	1.75m
PERMITTED UPO (AREA - 9.10.14.4. - A):	8.6%
PROPOSED UPO (AREA):	6.95sm
PROPOSED UPO (%):	6.8%

SPATIAL SEPARATION - FIRE COMPARTMENT 2 - RIGHT ELEVATION:	
EXPOSED BUILDING FACE:	78.67sm
LIMITING DISTANCE:	1.75m
PERMITTED UPO (AREA - 9.10.14.4. - A):	8.6%
PROPOSED UPO (AREA):	6.61sm
PROPOSED UPO (%):	8.4%



DEVELOPMENT + BUILDING PERMIT

No.	Date	Revision
01	2024-09-13	ISSUED FOR DEVELOPMENT & BUILDING PERMIT

Project Title
4495 WALKER ROAD

Drawing Title
RIGHT ELEVATION

Drawing Number
A4.04

4495 WALKER ROAD, KELOWNA, BC V1W 1G8
LOT 6, DISTRICT LOT 167, PLAN KAP10989

Job No. 18 - 1816
Scale 1/4" = 1'-0"

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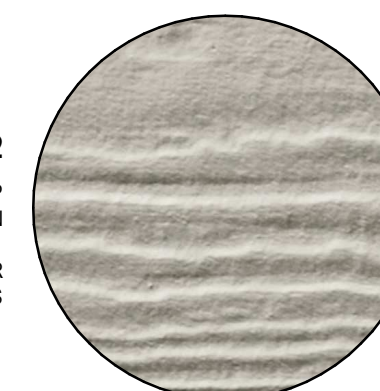
IMAGE SHOWN ABOVE IS NOT 100% ACCURATE - REFER TO 2D DRAWINGS FOR CONSTRUCTION - IMAGE IS FOR COLOUR REPRESENTATION ONLY

MATERIAL BOARD:

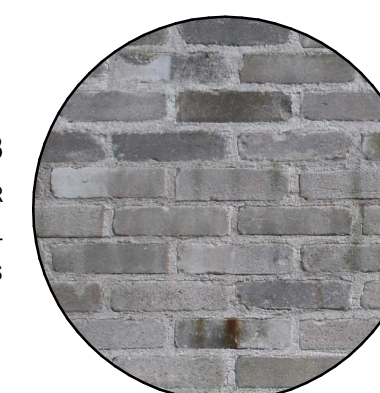
EXTERIOR - MAIN 1
 MATERIAL: WHITE HARDIE PANEL
 CW TRIM OR LAP SIDING
 LOCATION: VARIOUS EXTERIOR
 WALLS



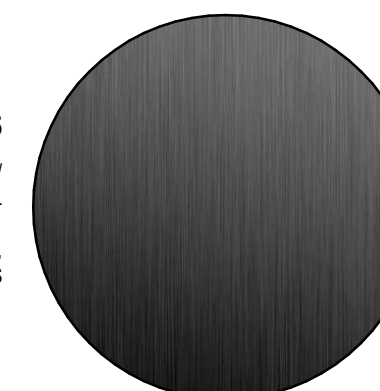
EXTERIOR - MAIN 2
 MATERIAL: BEIGE HARDIE LAP
 SIDING OR BOARD AND BATTEN
 LOCATION: VARIOUS EXTERIOR
 WALLS



EXTERIOR - MAIN 3
 MATERIAL: GREY BRICK VENEER
 LOCATION: ONLY ON STREET
 FACING ELEVATIONS

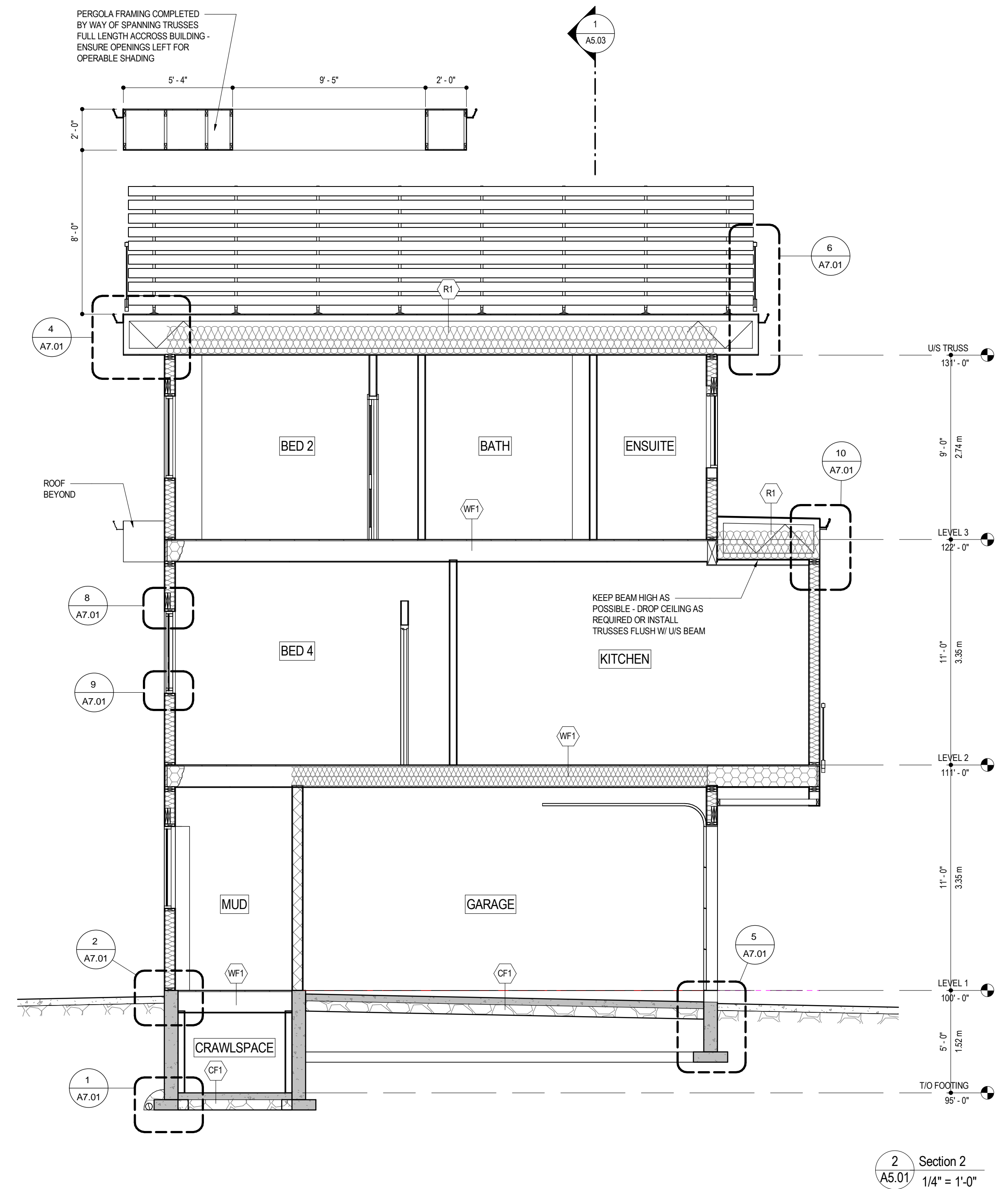
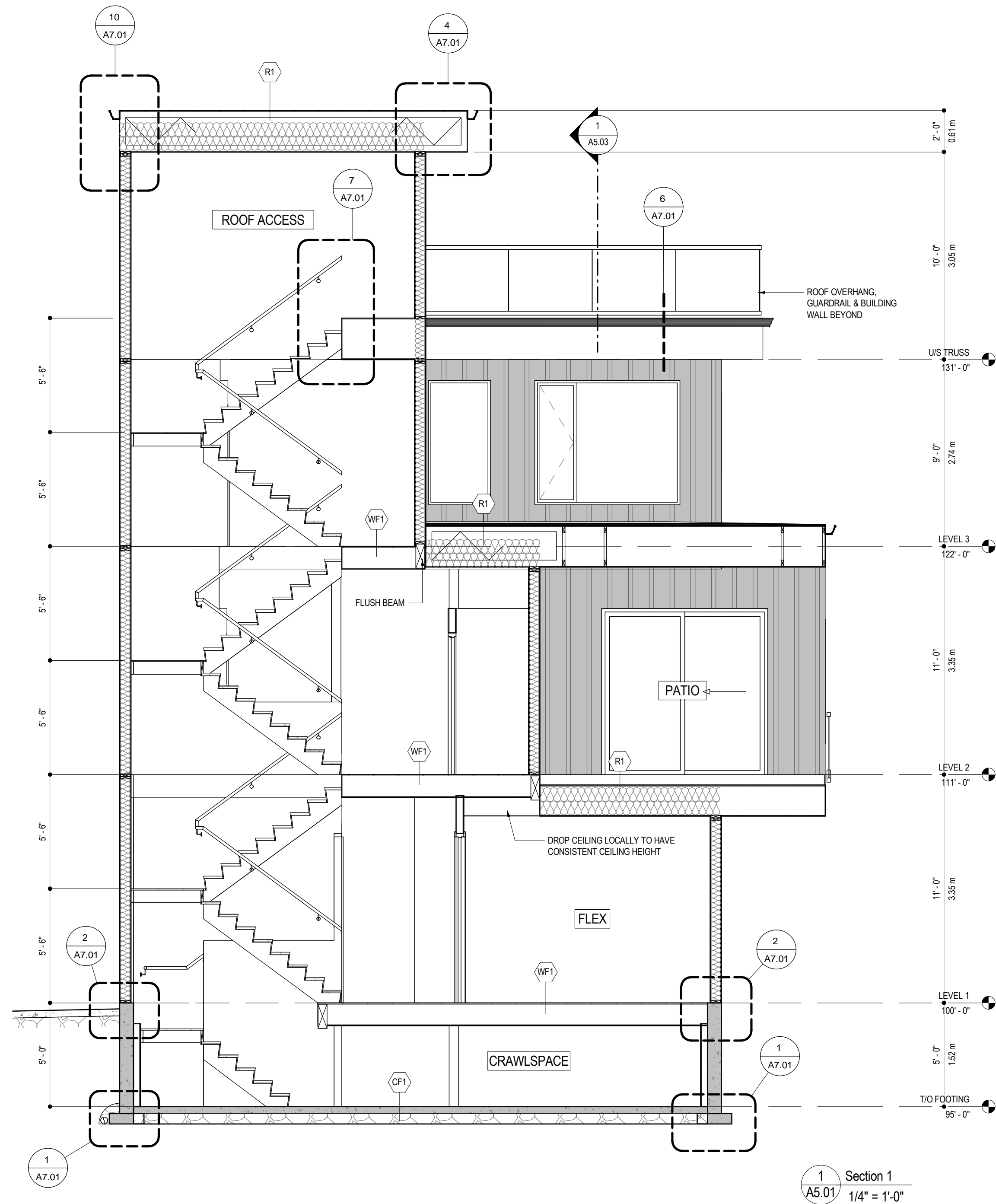


ACCENTS
 MATERIAL: BLACK METAL /
 ROOFING MATERIAL
 LOCATION: DOORS, WINDOWS,
 FLASHINGS, ROOF MEMBRANES



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01	2024-09-13	ISSUED FOR DEVELOPMENT & BUILDING PERMIT

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Project Title
4495 WALKER ROAD

Drawing Title

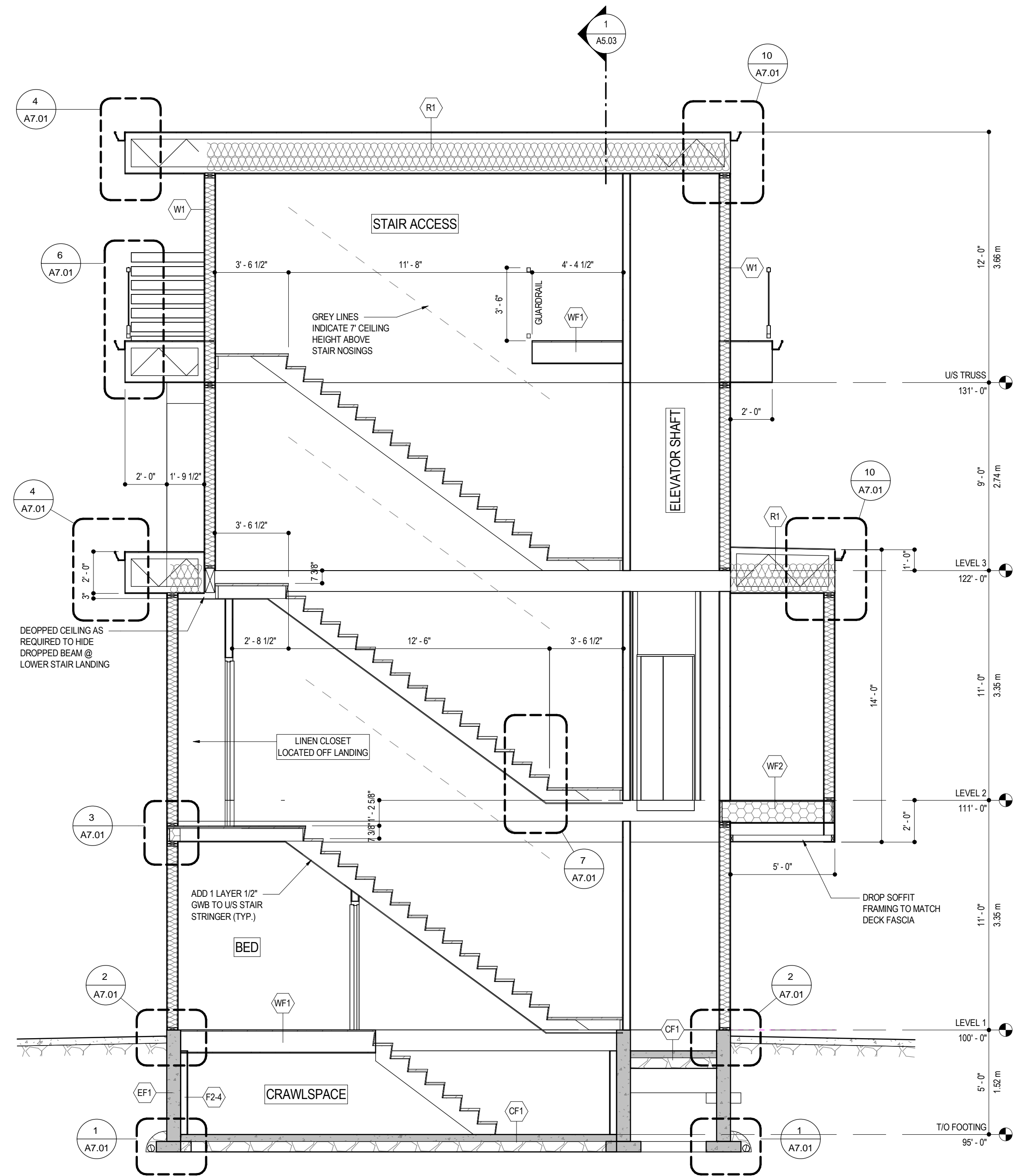
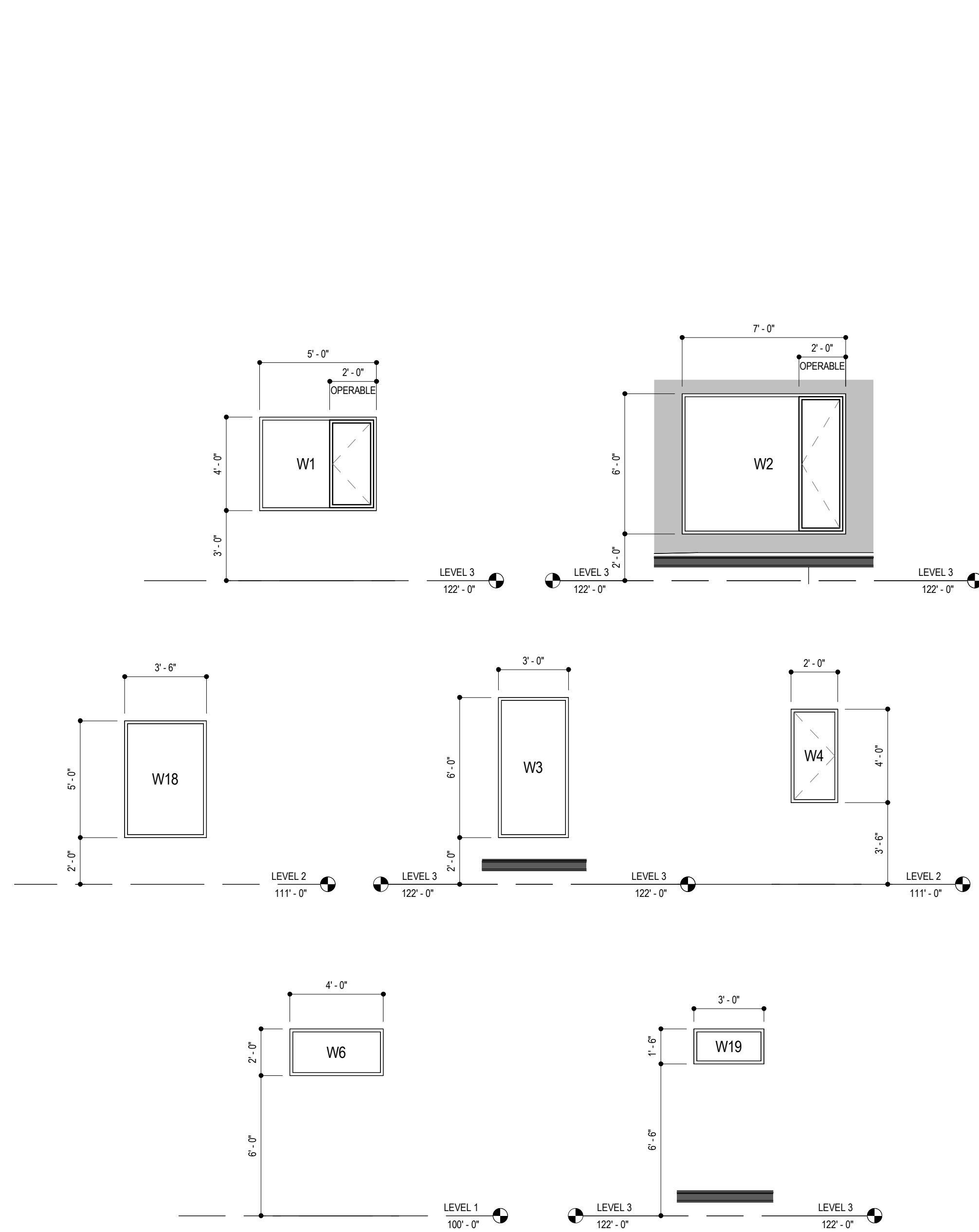
BUILDING SECTION

4495 WALKER ROAD, KELOWNA, BC V1W 1G8
LOT 6, DISTRICT LOT 167, PLAN KAP10989

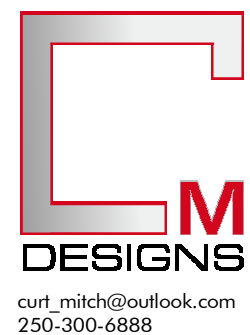
Drawing Number

A5.01

Job No. 18 - 1816
Scale 1/4" = 1'-0"



1 Section 4
A5.02 1/4" = 1'-0"



DEVELOPMENT + BUILDING PERMIT

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Project Title
4495 WALKER ROAD

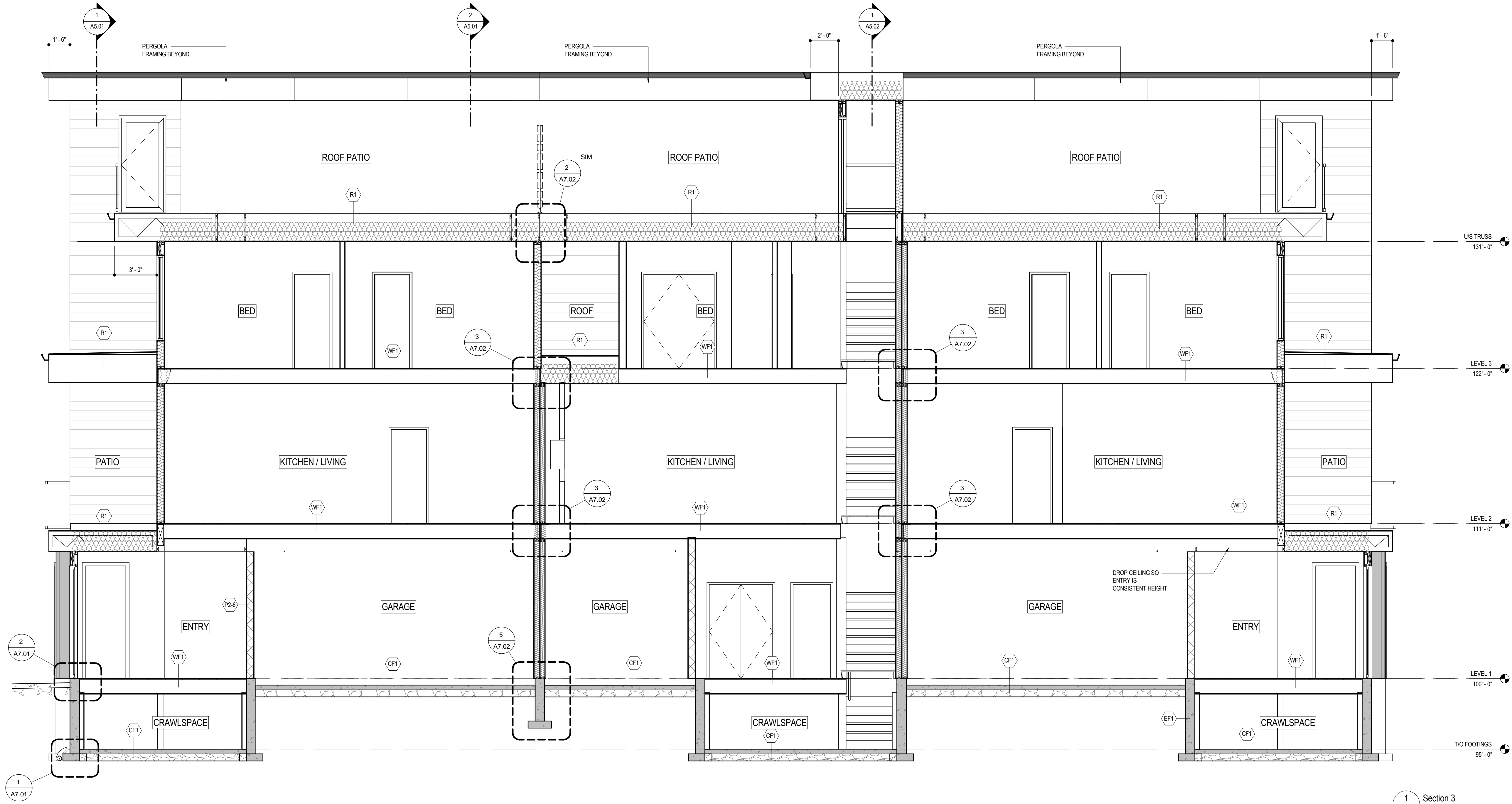
Drawing Title
BUILDING SECTION +
WINDOW SCHEDULE

4495 WALKER ROAD, KELOWNA, BC V1W 1G8
LOT 6, DISTRICT LOT 167, PLAN KAP10989

Drawing Number

A5.02

Job No. 18 - 1816
Scale 1/4" = 1'-0"



1 Section 3
A5.03 1/4" = 1'-0"



DEVELOPMENT + BUILDING PERMIT

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Project Title
4495 WALKER ROAD

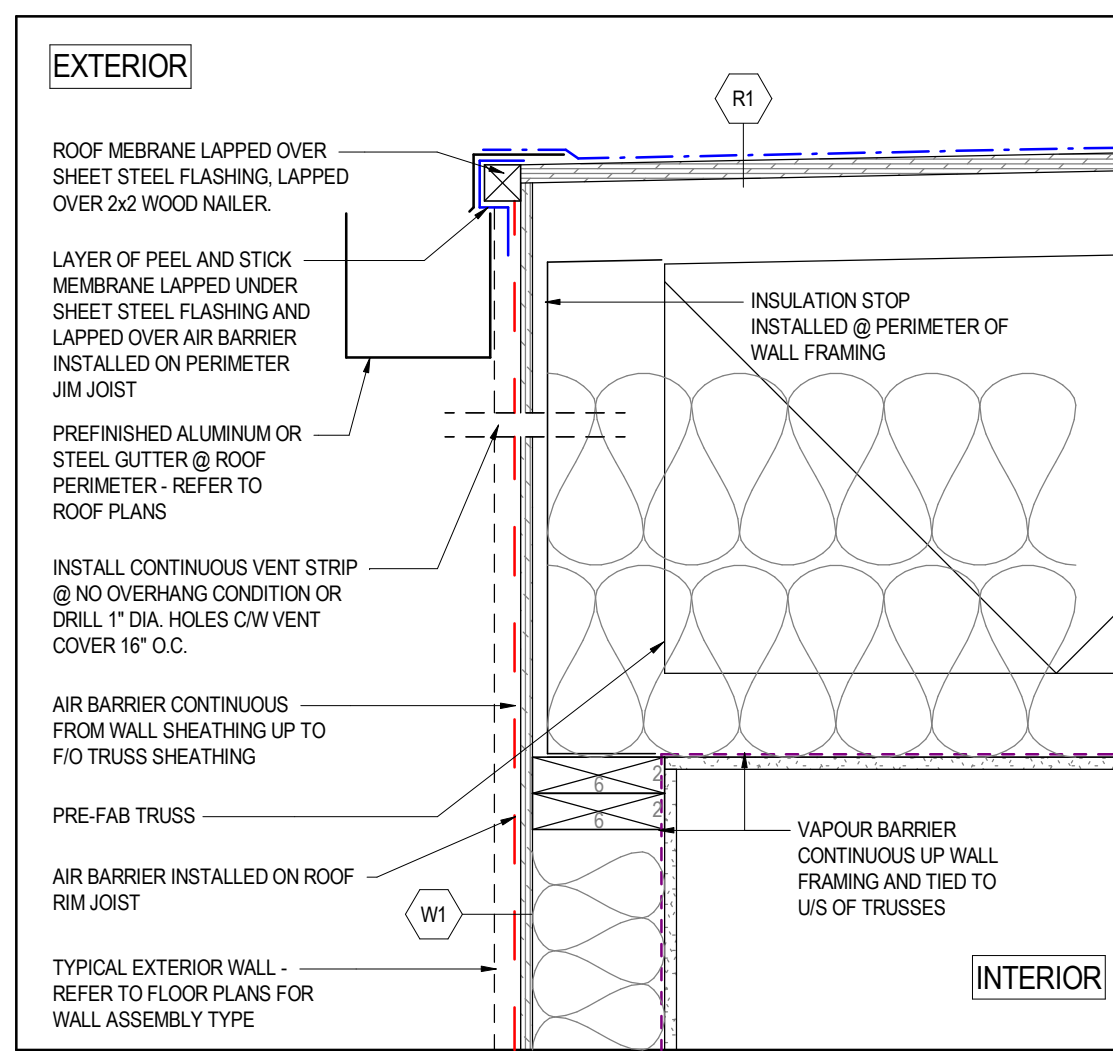
Drawing Title
BUILDING SECTION

Drawing Number

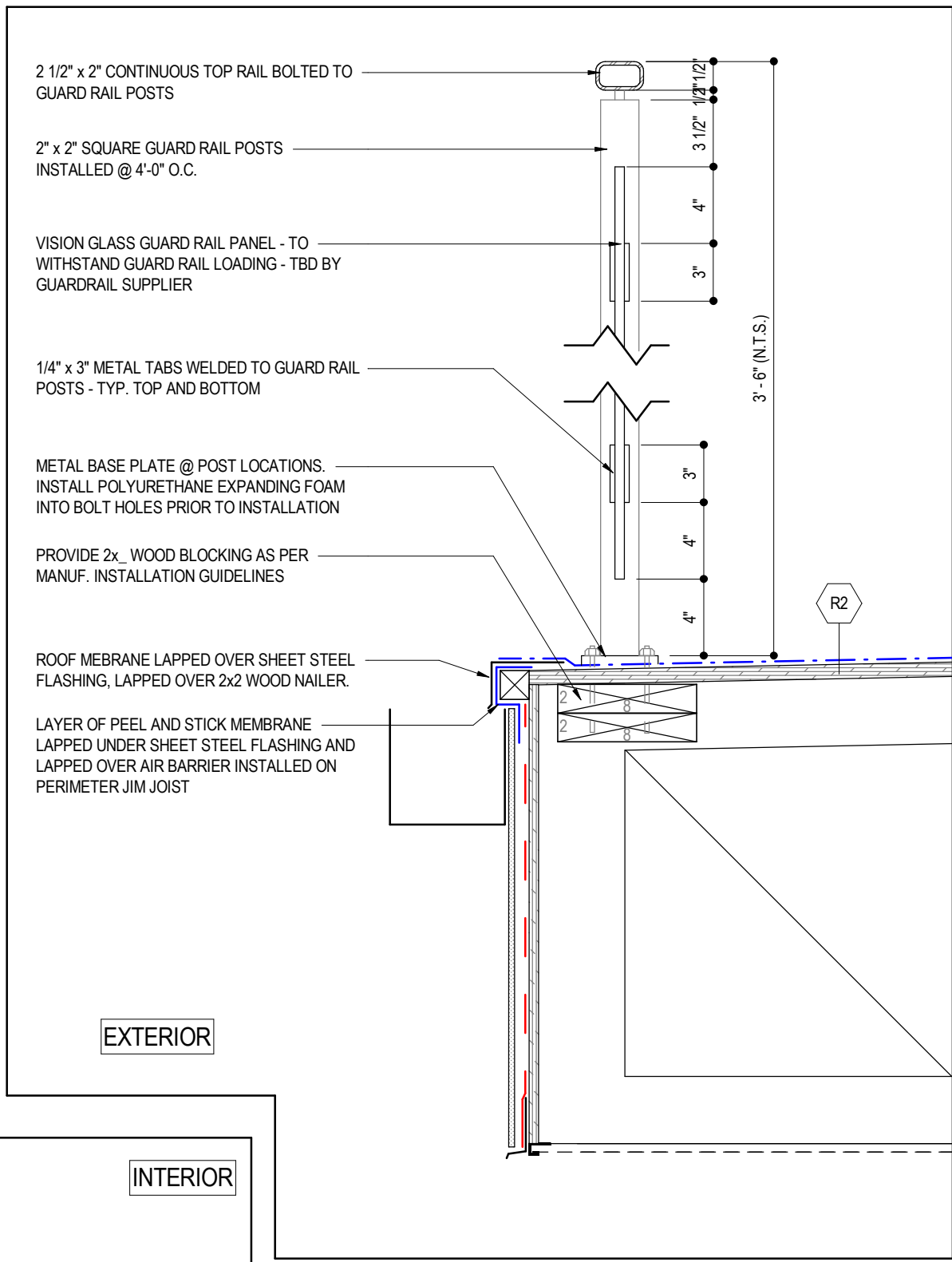
A5.03

Job No. 18 - 1816
Scale 1/4" = 1'-0"

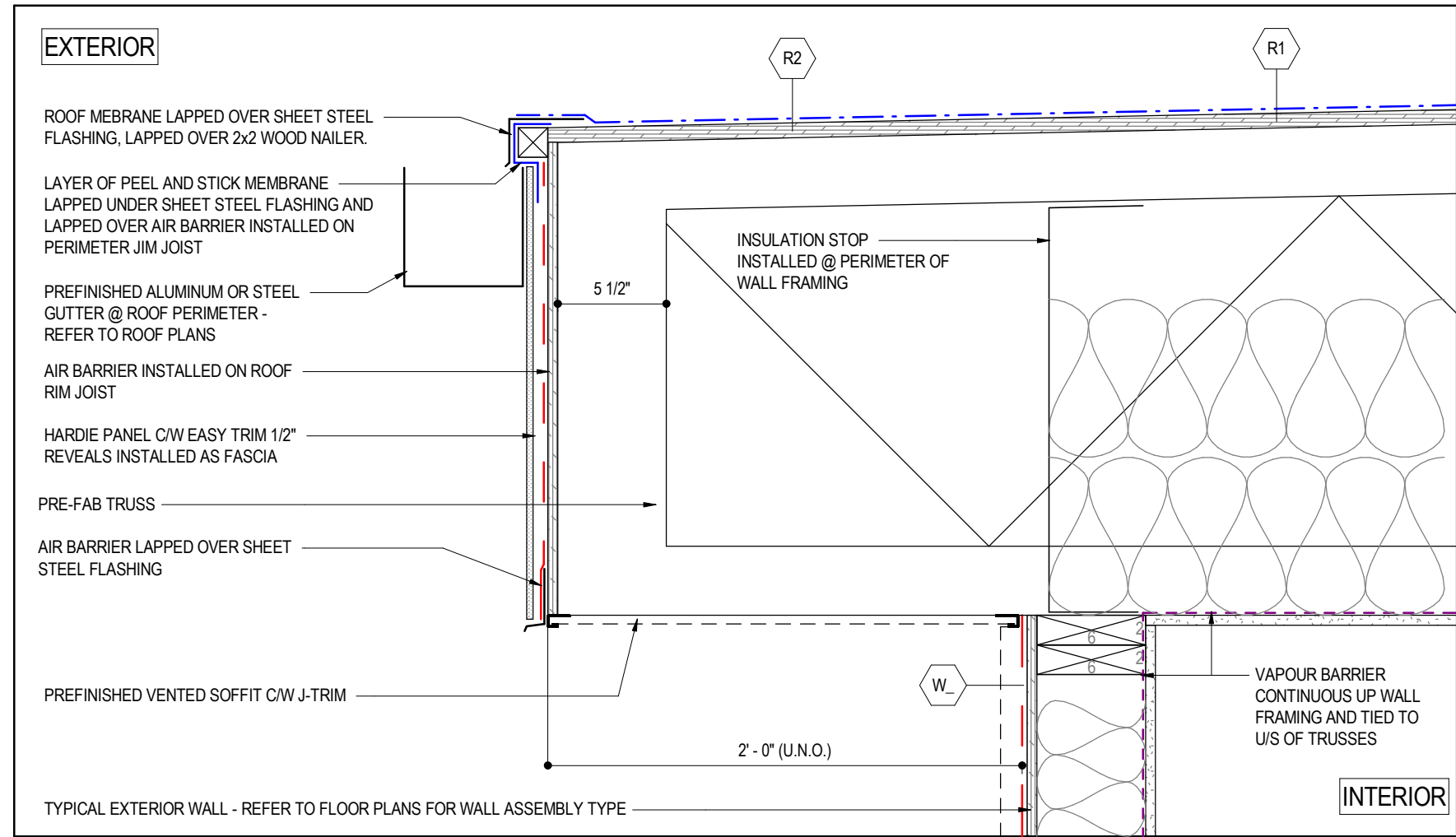
4495 WALKER ROAD, KELOWNA, BC V1W 1G8
LOT 6, DISTRICT LOT 167, PLAN KAP10989



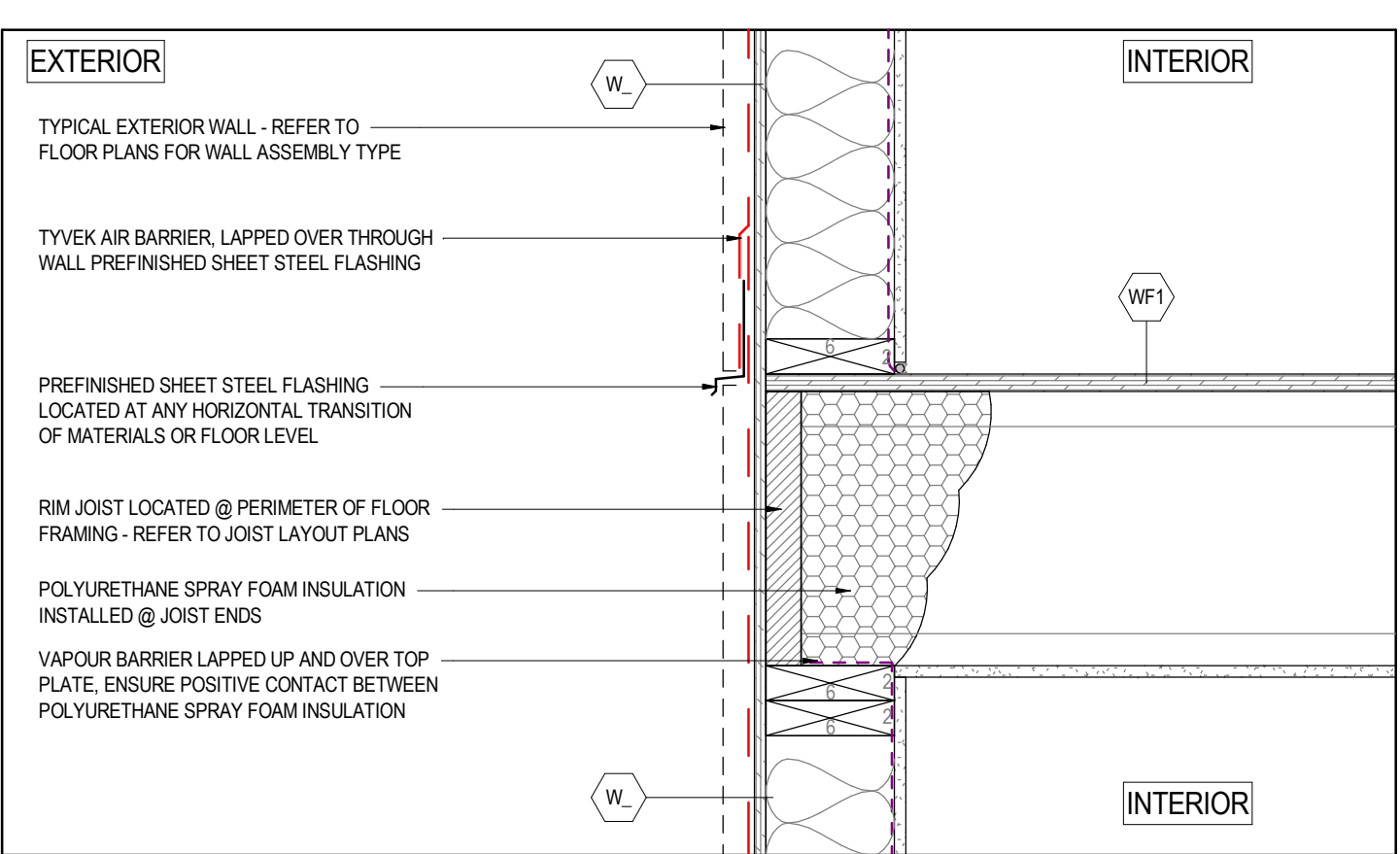
10 ZERO OVERHANG DETAIL
A7.01 1 1/2" = 1'-0"



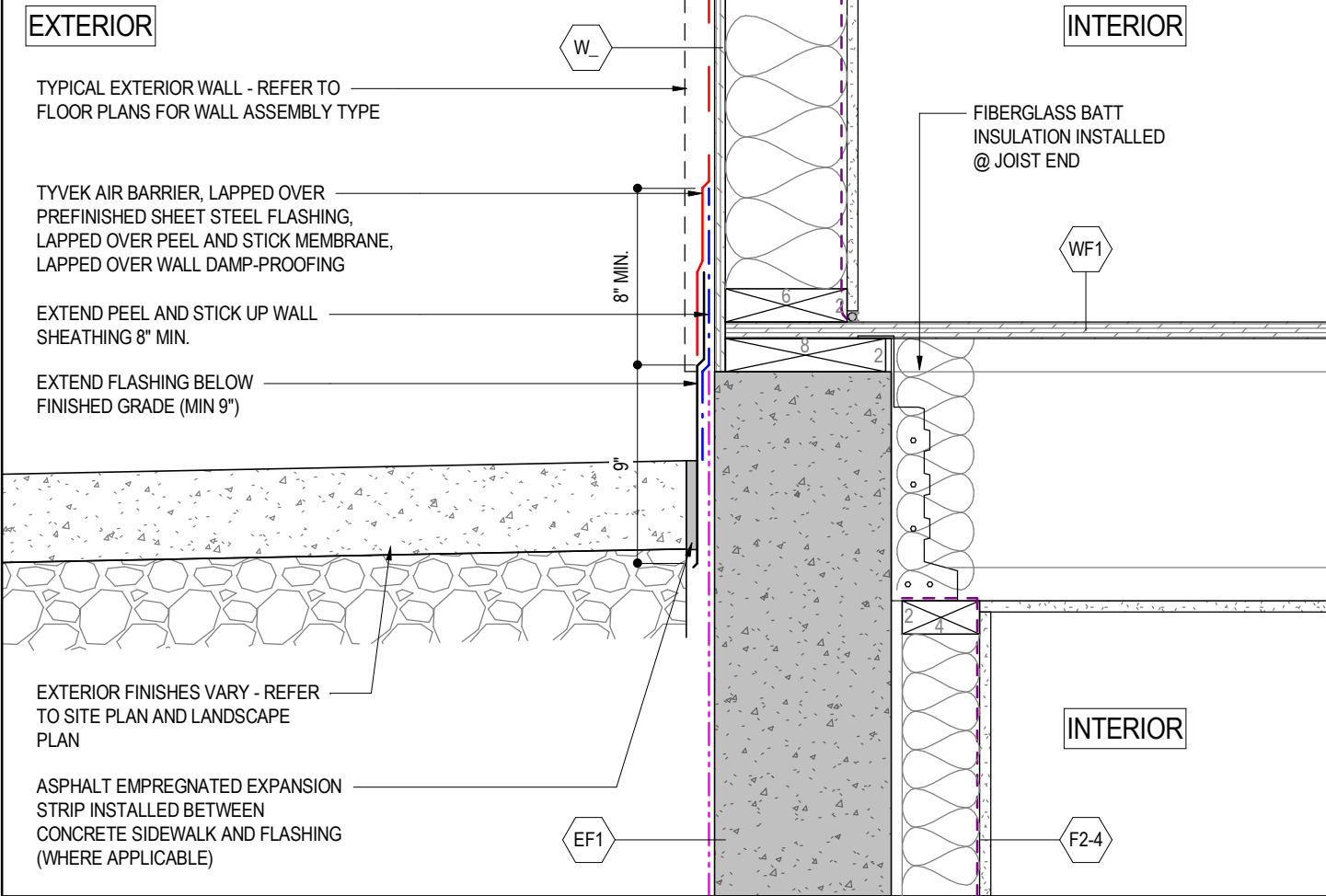
6 GUARD RAIL DETAIL
A7.01 1 1/2" = 1'-0"



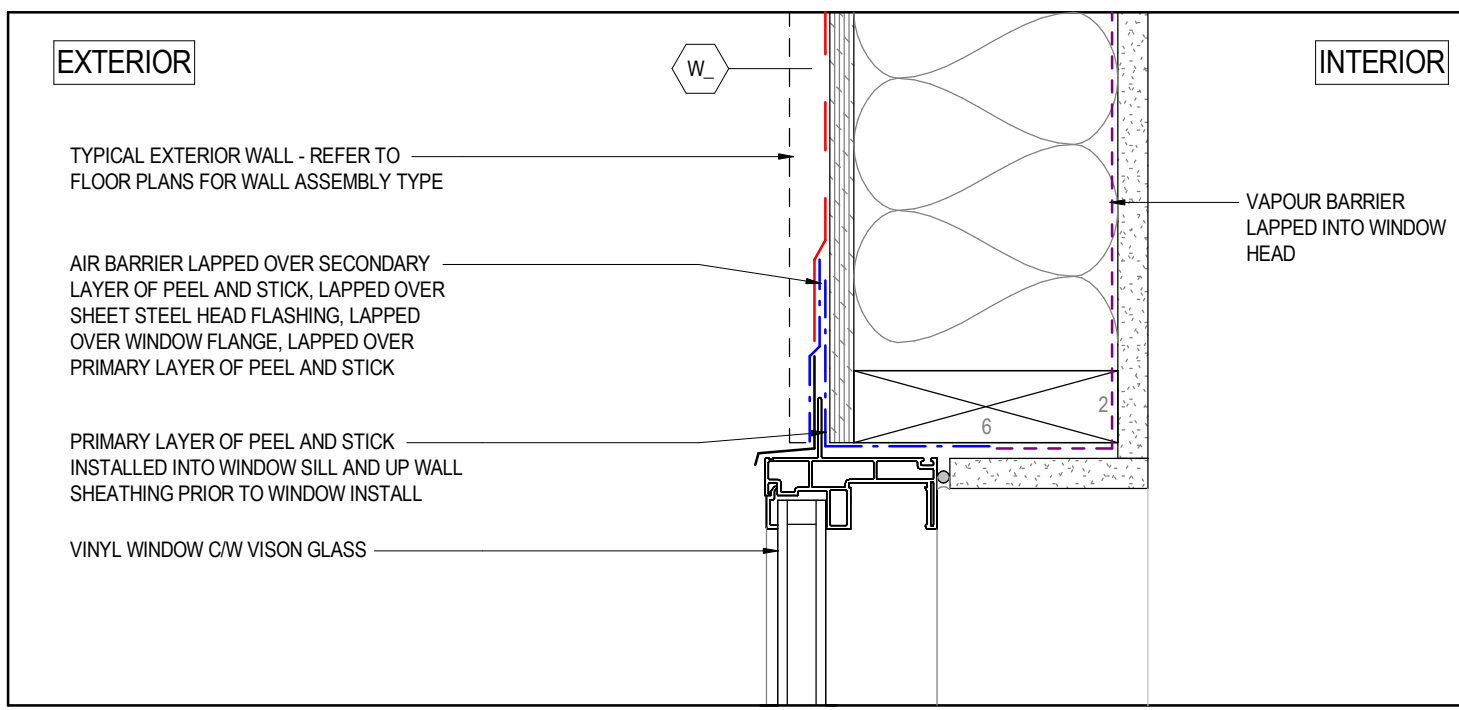
4 SOFFIT DETAIL
A7.01 1 1/2" = 1'-0"



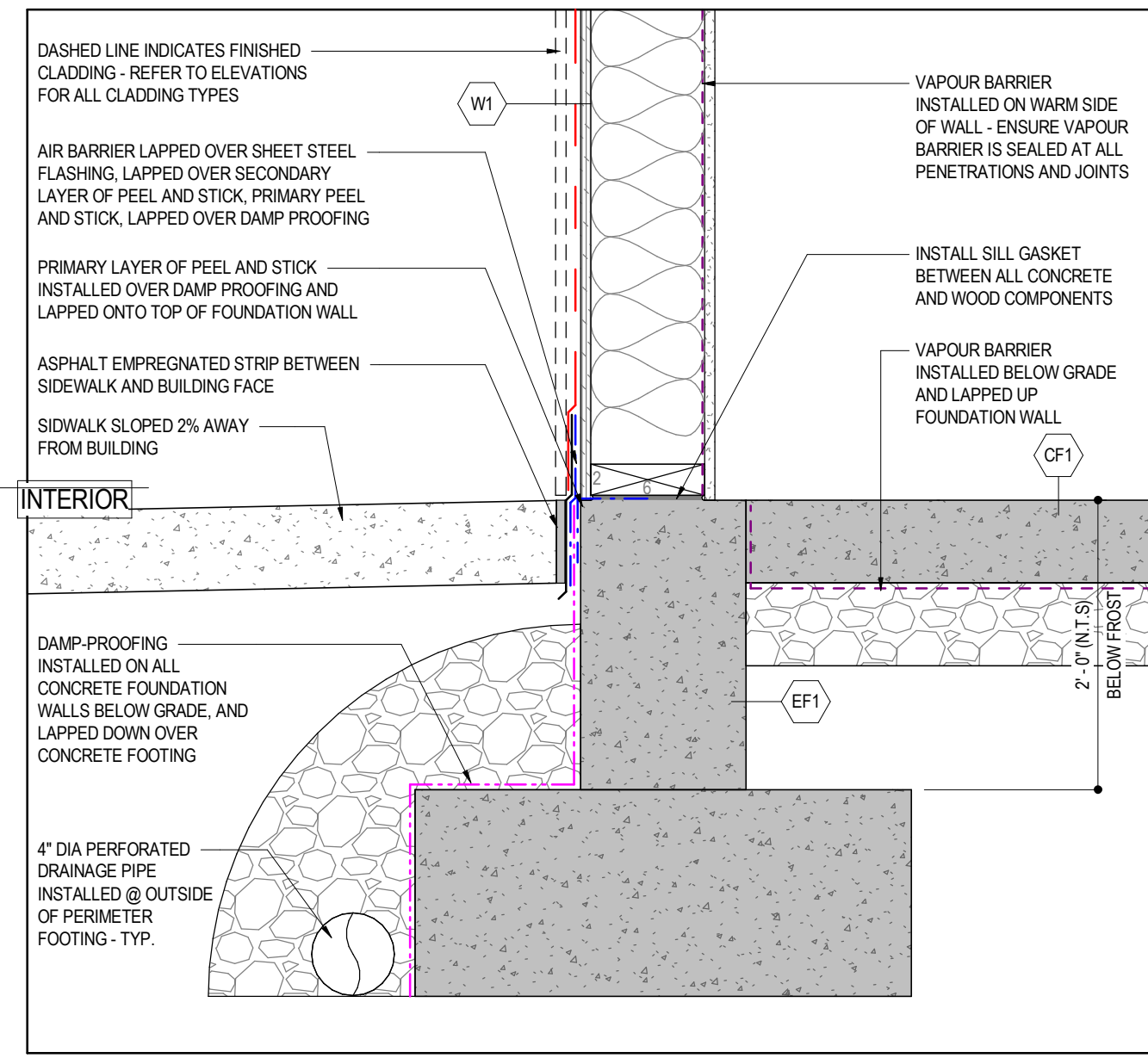
3 THROUGH WALL FLASHING DETAIL
A7.01 1 1/2" = 1'-0"



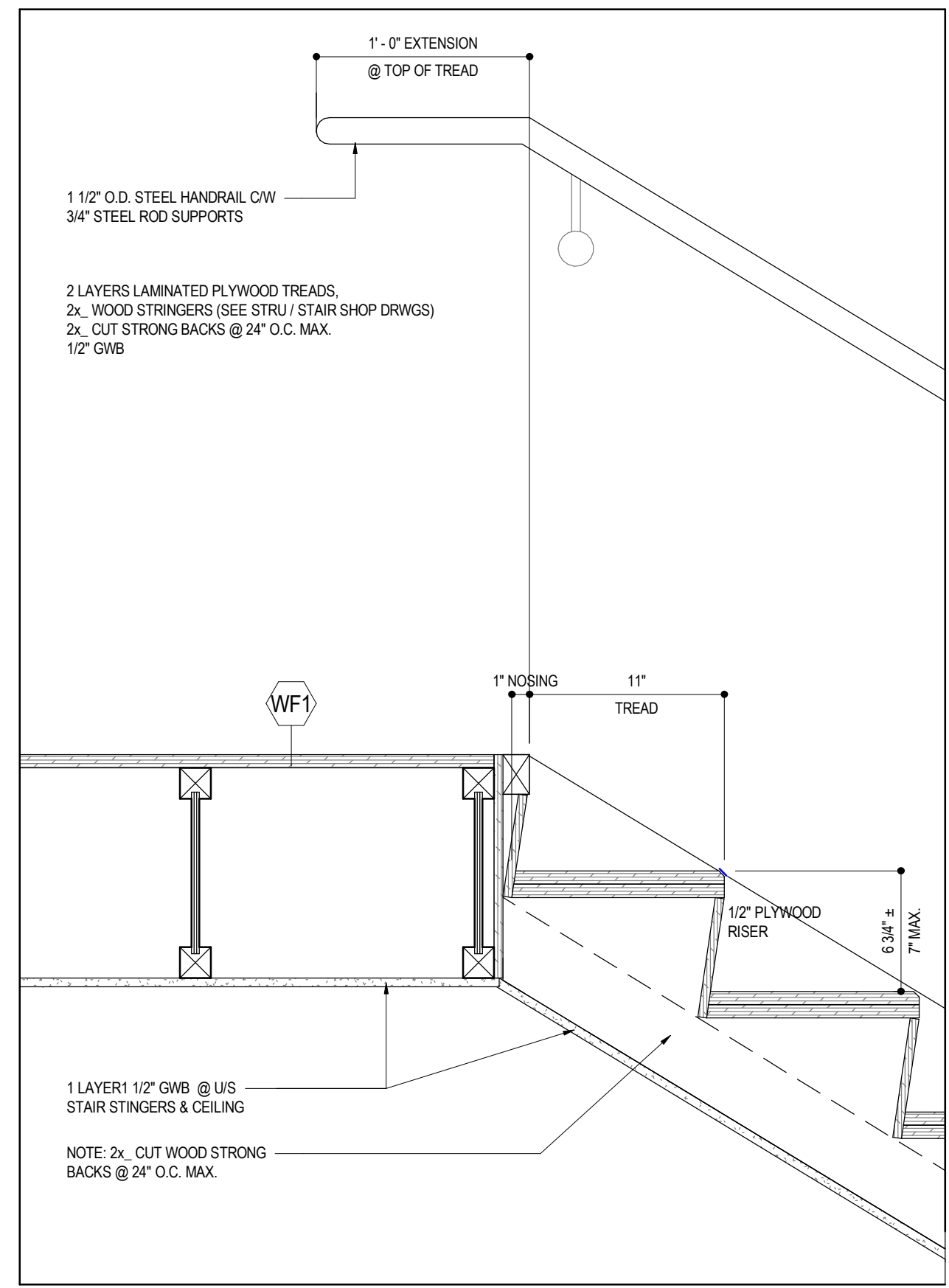
2 FOUNDATION DETAIL @ FLOOR JOIST
A7.01 1 1/2" = 1'-0"



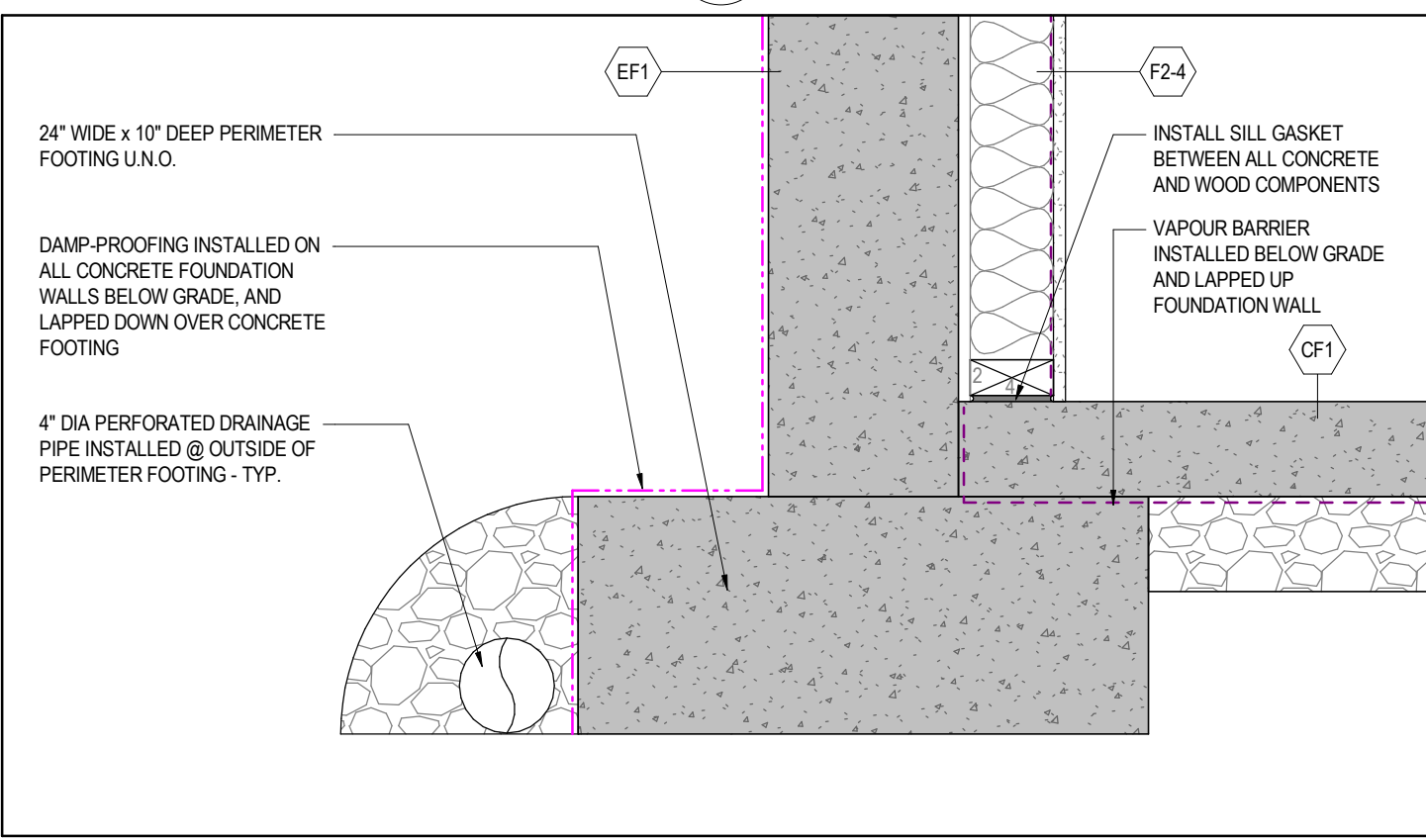
8 WINDOW HEAD
A7.01 1 1/2" = 1'-0"



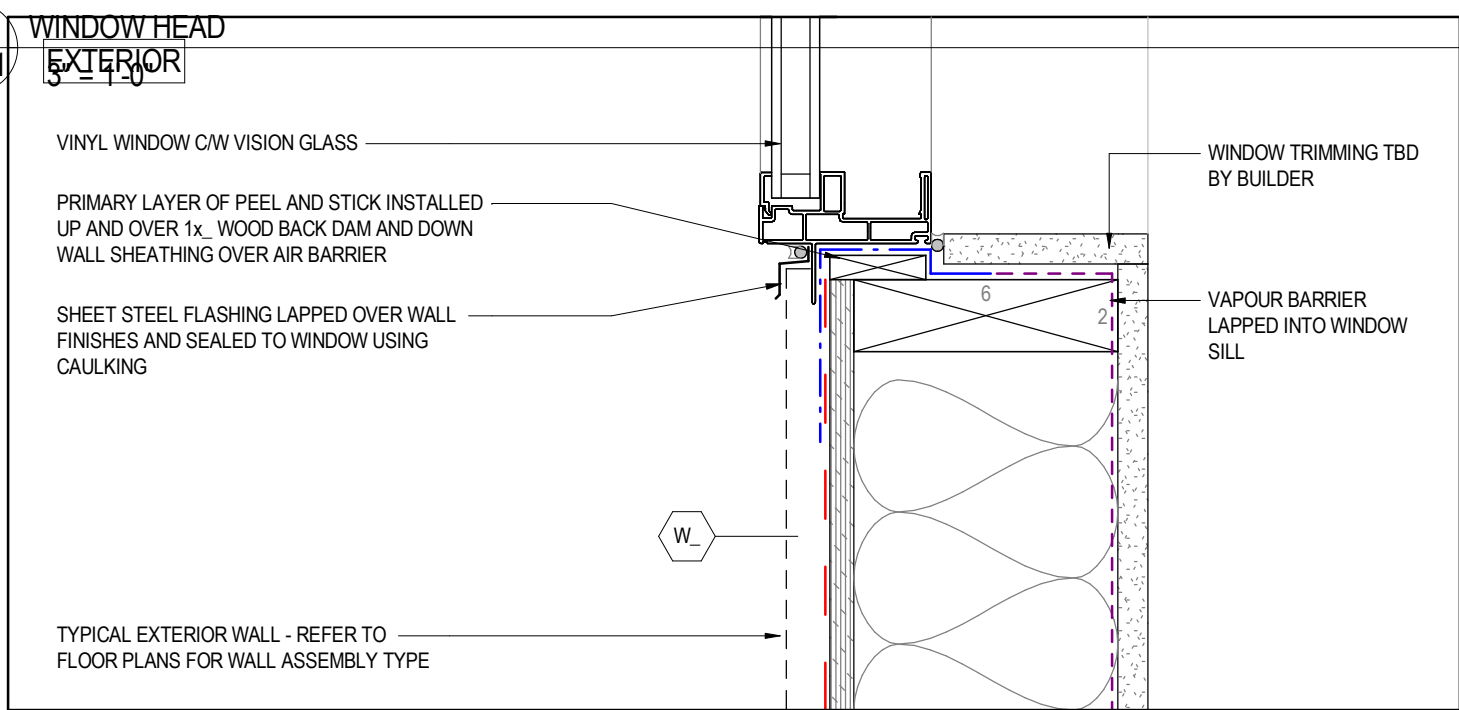
5 FOUNDATION DETAIL - BASE WOOD FRAME WALL
A7.01 1 1/2" = 1'-0"



7 TYP. WOOD STAIR
A7.01 1 1/2" = 1'-0"



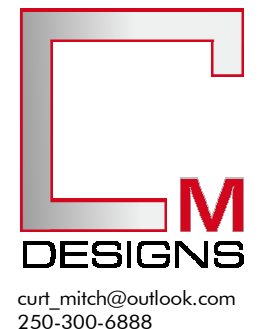
1 FOUNDATION DETAIL - BASE
A7.01 1 1/2" = 1'-0"



9 WINDOW SILL
A7.01 3" = 1'-0"

No.	Date	Revision
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Drawing Title	Drawing Number
DETAILS	A7.01
Job No.	18 - 1816
Scale	As indicated

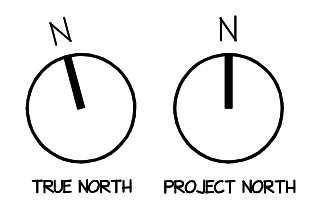
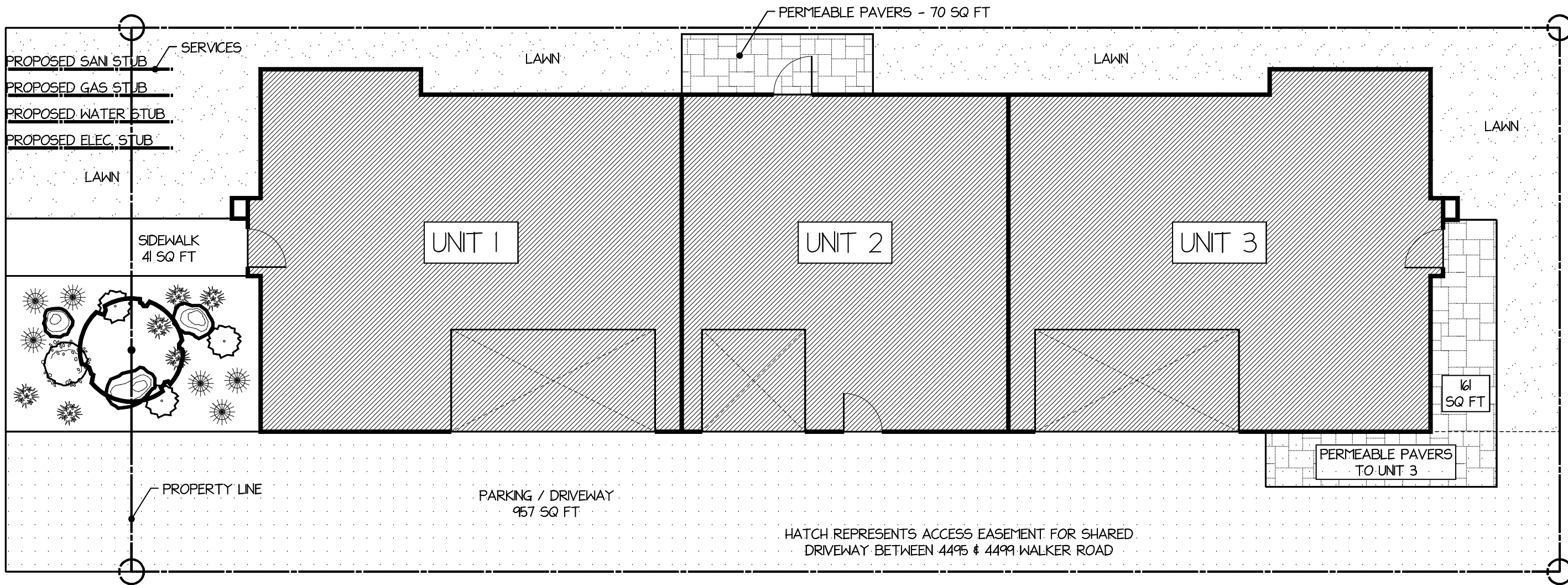


DEVELOPMENT + BUILDING PERMIT

Project Title
4495 WALKER ROAD

4495 WALKER ROAD, KELOWNA, BC V1W 1G8
LOT 6, DISTRICT LOT 167, PLAN KAP10989

A7.01



DESIGNER DETAILS:

A FULLY AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM TO BE INSTALLED AS PER IABC STANDARDS

ALL PLANTING AREAS TO HAVE OGOGROW MULCH GROUNDCOVER OR LANDSCAPE FABRIC WITH ROCK

LIGHTING PLACEMENT AND MANUFACTURER TO BE DETERMINED BY CONTRACTOR AND HOMEOWNER DURING CONSTRUCTION

REV: 1 - DESIGN SUBMISSION

INDICATES DIRECTION OF DRAINAGE

FEATURE ROCK

SCALE: 1 : 100
PAPER SIZE: 11" X 17"

DATE: SEPTEMBER 2024

ADDRESS/CLIENT:
4495 WALKER RD
KELOWNA, BC
V1W 1G8

PINNACLE LANDSCAPES™
111 HARTMAN RD.
KELOWNA BC
V1P 1C1
(250) 863-7625
www.pinnaclelandscapes.ca

DESIGNER:
ALDEN ROOS
STEPHEN HINDLE



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PLANTING SCHEDULE

QTY	KEY	COMMON NAME	BOTANICAL NAME	COMMENTS
1	C10	HAWTHORN	<i>Crataegus x mordenensis</i> Snowbird	B & B - 5cm CALIPER
1	EAL	BURNING BUSH	<i>Euonymus alatus Compactus</i>	2 GAL
3	BER	YELLOW BARBERRY	<i>Berberis sp.</i>	2 GAL
6	HEM	STELLA D'ORO DAYLILY	<i>Hemerocallis</i>	1 GAL
6	FGL	BLUE FESCUE	<i>Festuca glauca</i>	1 GAL

LANDSCAPING STANDARDS 7.2	ZONE	PROPOSED
MIN. # OF TREES WITHIN LANDSCAPE AREA	1 TREE PER 10 LINEAR M OF LANDSCAPE AREA	2 TREES
MIN. GROWING MEDIUM AREA	75 PERCENT SOIL-BASED LANDSCAPING	80 PERCENT SOIL-BASED LANDSCAPING
MIN. LANDSCAPING, PARKING LOT OVER 15 VEHICLES	N	N
MIN. / MAX TREE SPACING	N	N
MIN. SETBACK FROM BUILDING ETC.	L: 3m RADIUS, M: 2m, S: 1m	L: 3m
MIN. DECIDUOUS TREE PLANTING STOCK CALIPER	L: 5cm, M: 4cm, S: 3cm	L: 5cm
MIN. CONIFEROUS TREE PLANTING STOCK HEIGHT	250cm	N/A
MIN. RATIO BETWEEN TREE SIZE	LARGE: MIN 50 PERCENT MEDIUM: NO MIN OR MAX SMALL: MAX 25 PERCENT	LARGE: 100 PERCENT MEDIUM: SMALL:
MIN. GROWING MEDIUM VOLUMES PER TREE	SEE TABLE 7.2 ZONING BYLAW	Y
FENCE HEIGHT		N
RIPARIAN MANAGEMENT AREA		N
RETENTION OF EXISTING TREES ON SITE?		N
REFUSE & RECYCLE BINS AS PER SECTION 7.3		N GARAGE AS PER SITE PLAN

